



CITY OF MARSHFIELD

MEETING NOTICE

PLAN COMMISSION

City of Marshfield, Wisconsin

Tuesday, May 17, 2016

Council Chambers Lower Level, City Hall Plaza

7:00 p.m.

1. Call to Order. – Mayor Meyer – Chairperson.
2. Roll Call. – Secretary Knoeck.
3. Approval of Minutes. – April 19, 2016 Meeting.
4. Election of Vice-Chairman
5. Citizen Comments.
6. Conditional Use Request by Marcus Zettler, on behalf of Our Lady of Peace Parish Columbus High School, amending the site plan of a “Large Scale Indoor Institutional Use” in the “SR-2” Single Family Residential district, to allow a new addition on the south end of the existing high school building, including a reconfiguration of the existing parking lot and adding an access driveway on to West 8th Street, located at 710 South Columbus Avenue (Parcel 33-03354A).
Presenter: Josh Miller, City Planner
Public Hearing Required
7. Conditional Use Request by Shannon Schnitzler, on behalf of Christopher and Lindsey Bishop, to permit a 4-bed Adult Family Home, “Community Living Arrangement” use in the “SR-2” Single Family Residential district, with plans to construct an addition in the backyard and expand to an 8-bed Community Based Residential Facility in the future. The request includes an exception for the total “Community Living Arrangement” population to exceed 1% of the City population, located at 2300 East Fillmore Street (Parcel 33-05650).
Presenter: Josh Miller, City Planner
Public Hearing Required
8. Master Sign Plan Request by Cindy Bluske, representing Kwik Trip for new signage for their proposed new site at 4000 South Draxler Drive zoned “CMU” Community Mixed Use with exceptions (parcel 33-07393).
9. Municipal Code Amendment Request to update the City of Marshfield Fence Standards throughout Section 18-106.
Presenter: Sam Schroeder, Zoning Administrator
Public Hearing Required
10. Review City’s Mission and Vision Statement.
Presenter: Steve Barg – City Administrator
11. Appointment of Plan Commission Member to the Historic Preservation Committee.
12. Appointment of new Town of McMillan Joint Plan Commission Member.

**PLAN COMMISSION
(Page 2)**

- 13. Items for Future Agendas.
- 14. Staff Updates.
 - a. Comprehensive Plan Update.
- 15. Adjourn.

Posted this 12th day of May, 2016 by 4:00 PM by Dan Knoeck, Secretary, City Plan Commission

For additional information regarding items on the agenda, please contact Jason Angell, Director of Development Services at 715.486.2074 or Josh Miller, City Planner at 715.486.2075.

NOTE

It is possible that members of and possibly a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Mary Anderson, Public Works Department at 630 South Central Avenue or by calling (715) 387-8424.

**CITY PLAN COMMISSION
MARSHFIELD, WISCONSIN
MINUTES OF APRIL 19, 2016**

Meeting called to order by Mayor Meyer at 7:00 PM in the Council Chambers of City Hall Plaza.

PRESENT: Mayor Meyer; Ed Wager, Josh Witt, Bill Penker & Ken Wood

EXCUSED: Joe Gustafson

ABSENT: Laura Mazzini

ALSO PRESENT: City Administrator Barg; Director of Public Works Knoeck; Development Services Director Angell; City Planner Miller; Zoning Administrator Schroeder; Adam Fischer – Central WI State Fair; the media and others.

PC16-14 Motion by Wood, second by Witt to recommend approval of the minutes of the March 15, 2016 City Plan Commission meeting.

Motion Carried

Citizen Comments: None

PUBLIC HEARING - Conditional Use Request by Central Wisconsin State Fair (CWSF) to allow the construction of a permanent stage, east of the grandstands in Marshfield Fairgrounds Park, to provide outdoor commercial entertainment for various events within property zoned “CD” Campus Development, prior to the adoption of a Campus Master Plan, located at 513 East 17th Street (Parcel 33-03458).

COMMENTS:

- David Hirsch, 412 East 14th Street, stated he is concerned with dust in the parking lot at the Fairgrounds when events are held. Dust is a health issue. Townships provide dust control for residents on gravel roads and he is wondering why it hasn’t been addressed in the 23 years he has lived there. More events will bring more dust.
- Adam Fischer, Central WI State Fair Executive Director, stated that they have been discussing a permanent stage for a number of years. Every year they bring in a temporary stage at this location. It has become very expensive to pay for a temporary stage and they would expect a five year payback on this project. The Fair Board is also eager to have a campus plan drafted and are looking forward to seeing that process get started.
- Janet Marshall, 410 East 14th Street, also lives near the Fairgrounds and is concerned about what else might be going on at the fairgrounds – more activities throughout the year means more noise, etc.

PC16-15 Motion by Wood, second by Penker to recommend approval of the Conditional Use Request by Central Wisconsin State Fair (CWSF) to allow the construction of a permanent stage, east of the grandstands in Marshfield Fairgrounds Park, to provide outdoor commercial entertainment for various events within property zoned “CD” Campus Development, prior to the adoption of a Campus Master Plan, located at 513 East 17th Street (Parcel 33-03458), subject to the following:

1. A draft Campus Master Plan, meeting the requirements of the Zoning Coe, must be submitted to the City within one year of Common Council approval of the Conditional Use Permit.
2. Minor changes to the site plan such as setbacks and structure details may be administratively approved.

Motion Carried

PUBLIC HEARING - Conditional Use Request by Peter Nagel, representing Forward Financial Bank, to allow the construction of a Large and Group Development with off-site parking, including an exception to exceed the maximum district height allowance within property zoned “CMU” Community Mixed Use, located at 1001 North Central Avenue (Parcels 33-03257 and 33-03257B).

COMMENTS: None

PC16-16 Motion by Witt, second by Penker to recommend approval of the Conditional Use Request by Peter Nagel, representing Forward Financial Bank, to allow the construction of a Large and Group Development with off-site parking, including an exception to exceed the maximum district height allowance within property zoned “CMU” Community Mixed Use, located at 1001 North Central Avenue (Parcels 33-03257 and 33-03257B), contingent on the following:

1. The principal bank building is allowed to be constructed at a maximum height of 55 feet.
2. The Applicant may combine parcels 33-03257 and 33-03257B through a certified survey map. The combination of these two lots will be required prior to the development and any future separation of the “future tenant building”.
3. The “future tenant building” and equipment/vehicle shed may be administratively approved, provided they meet all zoning requirements.
4. Signage may be approved administratively provided that there is not a need for exceptions.
5. Minor site changes and building details may be administratively approved as long as the changes do not result in development becoming non-compliant with this conditional use permit or other zoning code requirements.

Motion Carried

City Administrator Barg presented a summary presentation of the 2017-2021 Capital Improvement Program as prepared by the CIP Administrative Committee.

Items for Future Agendas:

- Planner Miller suggested the possibility of a Pedestrian/Bike Advisory Committee, which may be discussed at a future meeting.

Staff Updates:

- City Planner Miller gave an update on the Comprehensive Plan process.

There being no objections, the Mayor adjourned the meeting at 7:44 PM

Daniel G. Knoeck, Secretary
CITY PLAN COMMISSION



City of Marshfield Memorandum

TO: Plan Commission
FROM: Josh Miller, City Planner
DATE: May 17, 2016

RE: Conditional Use Request by Marcus Zettler, on behalf of Our Lady of Peace Parish Columbus High School, amending the site plan of a “Large Scale Indoor Institutional Use” in the “SR-2” Single Family Residential district, to allow a new addition on the south end of the existing high school building, including a reconfiguration of the existing parking lot and adding an access driveway on to West 8th Street, located at 710 South Columbus Avenue (Parcel 33-03354A).

Background

The Columbus Catholic High School is proposing a new addition on the south side of the existing school to add a science wing which will include two classrooms. The property is zoned SR-2 Single Family Residential. The land use is categorized as a “Large Scale Indoor Institutional” use having more than 10,000 total gross square feet, requiring a Conditional Use Permit whenever the site plan is modified or the building is added to. The addition is approximately 3,280 square feet total and will include an outdoor classroom area.

Analysis

When considering that the lot itself is over 11 acres in area (16.6 acres when including the church and school parcel), the proposed science wing addition and outdoor classroom area are minimal additions and changes to the overall site.

Location

The surrounding land use and zoning consists of “SR-2” Single Family Residential district to the north, east, and south and “SR-3” Single Family Residential district to the west. The surrounding uses are all single family homes to the east, south, and west and the elementary school and church to the north. The proposed addition will take place on the southeast corner of the lot, connected to the south wall of the high school.

Site

For the science wing addition, the setback to the south property line (8th Street) will be approximately 157 feet. The setback to the east property line (Columbus Avenue) is approximately 44 feet. The setback to the West property line (Schmidt

Avenue) is approximately 460 feet. And the setback to the north property line (Our Lady of Peace Church property) is approximately 608 feet. The stage will generally face west towards the bandstand. The required setbacks for the “SR-2” district are significantly less than that (30 foot front, 20 foot street side, and 25 foot rear).

The outdoor classroom space will extend further south towards 8th Street approximately 30 additional feet. Therefore, the setback to 8th Street will still be well over 100 feet, exceeding the 30 foot district requirement for the front yard. The plan also shows the outdoor classroom area to be no closer to the east property line than the existing building.

Parking

Under the zoning code, parking standards for a senior high school are based on requiring 1 stall per 2 employees, plus 30% of maximum capacity. For a junior high, the zoning code requires 1 stall per 2 employees. Below is a breakdown of the required on-site parking for the high school and middle school:

Description	Number	Calculation	Required
Number of Employees at Middle School	8	1 stall per 2 employees	4
Number of Employees at High School	30	1 stall per 2 employees	15
Max Capacity of High School Gym	1,897	30% of Max Capacity	569.1
Total Required Parking			588.1

The current onsite parking provided is 118 stalls. Therefore, the facility is short on the required parking by 470 stalls. Because the high school is not adding staff or students with the science wing addition, no new parking is required. The high school students currently use the middle school science classrooms. The new classrooms will provide the high school its own science classrooms. Because they will be blocking off the access from Columbus Avenue, they will actually be able to add a few parking stalls to the back lot where the access drive currently goes through.

The Applicant is proposing another access drive (42’ x 25’) off of 8th Street, east of the existing drive as they will be losing access directly onto Columbus Avenue.

Landscaping

There will likely have to be some exiting trees removed from the site due to the building and outdoor classroom addition. Due to the addition being relatively small, the site having a significant amount of existing landscape that will remain, and the remaining landscaping calculated to meet the landscape requirements, additional landscaping is not required for the additions.

Because the new parking area is less than 1,200 square feet, the zoning code does not require additional landscape islands or landscaping for the parking area.

Lighting

An exterior lighting plan has not been submitted for this project. Any new lighting will be required to meet the provisions of Section 18-104 of the zoning code. Based on the zoning district of the subject property, the maximum light fixture height is 20 feet. The maximum footcandle allowance at the property line is 2.0 footcandles. All light sources emitting over 2,500 lumens (roughly equivalent to 150 watt incandescent light bulb) must be full cutoff or have shielded luminaries.

Conditional Use Criteria

The following information is based on the specific requirements outlined in Section 18-161(6) Conditional Use Review Criteria for Plan Commission consideration.

Conditional Use Decision Criteria of 18-161(6)(c):

- (c) The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

1. Is in harmony with the recommendations of the Comprehensive Plan.

Staff does not find any conflict with the proposed use and the Comprehensive Plan.

2. Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.

The character of the neighborhood would not change as this is just an extension of the existing school. There are already outdoor activities that take place on the property for sports and gym classes. Adding an outdoor classroom should have no additional impact on the neighborhood.

3. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The consistency of the land use will not change.

4. The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

The subject property is already adequately served by public services, which supports no change.

5. The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

The purpose of the addition is to improve educational opportunities for the students. Removing the access on Columbus Avenue may also reduce congestion in front of the school.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE a Conditional Use Request by Marcus Zettler, on behalf of Our Lady of Peace Parish Columbus High School, amending the site plan of a "Large Scale Indoor Institutional Use" in the "SR-2" Single Family Residential district, to allow a new addition on the south end of the existing high school building, including a reconfiguration of the existing parking lot and adding an access driveway on to West 8th Street, located at 710 South Columbus Avenue (Parcel 33-03354A) with the following provisions/conditions:

1. The site plan for the building, parking, and outdoor classroom are approved, allowing minor modifications to be approved administratively.
2. If exterior lighting is proposed for the project, a lighting plan, in compliance with the zoning code, shall be submitted to the City for staff to review and approve administratively.

Attachments

1. Application
2. Location Map

Concurrence:



Jason Angell
Director of Development Services



MARSHFIELD

The City in the Center

Revised: 1/1/16

Development Services Department

City of Marshfield
630 South Central Avenue
6th Floor, Suite 602
Marshfield, WI 54449

Ph: 715-486-2077 Fax: 715-384-7631

Email: Sam.Schroeder@ci.marshfield.wi.us

**Conditional Use
Permit Application**

Fee: \$250.00

Today's Date: April 26, 2016

OFFICE USE ONLY

Date Received: 4-26-16	Fee Receipt Number: 58707	Zoning District: SR-2	Parcel #: 73-03354A
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SITE INFORMATION

Site Address: 710 S. Columbus Avenue	Present LandUse: High/Middle School
Legal Description: C-MFLD S7 T25N R3E S 853' OF W 1/2 SE NW, EXC STS	

APPLICANT INFORMATION

Applicant Name: Marcus Zettler	Phone #: 608-784-1830	Email Address: mzettler@hsrassociates.com
Address, City, State, Zip: 100 Milwaukee Street, La Crosse, WI 54603		
The Applicant is the <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Representative/Other (Describe): Architect		

OWNER INFORMATION (IF DIFFERENT THAN APPLICANT INFORMATION)

Owner Name: David Eaton	Owner Phone #: 715-387-1177	Owner Email Address: eaton.david@columbusdons.org
Owner Address, City, State, Zip: 710 S. Columbus Ave, Marshfield, WI 54449		

DETAIL OF CONDITIONAL USE REQUEST

Proposed Land Use: High/Middle School	Proposed # of Employees: 30	Proposed Hours of Operation: 7:30-4:00 M-F
<input type="checkbox"/> Residential or <input checked="" type="checkbox"/> Nonresidential	Number of Buildings: 1	Number of Units: 1
		Density (units per acre): 1
Narrative of Conditional Use Request: (Phase 1 - Current project) Addition of science classrooms to the south end of the existing school, reconfiguring of the existing parking lot and removal of one curb cut onto Columbus Ave. with the addition of one curb cut onto W. 8th Street.		
Future Plans/Modifications: Phase 2 - Fieldhouse Addition		Time Needed to Finish Request: (Phase 1) 6 months

CODE REQUIREMENT REFERENCES (ZONING CODE - CHAPTER 18)

<input checked="" type="checkbox"/> Setback Requirements - Article II: Establishment of Zoning Districts
<input checked="" type="checkbox"/> Parking Requirements - Article III: Land Use Regulations
<input checked="" type="checkbox"/> Lighting, Storage, and Parking Standards - Article VII: Design and Performance Standards
<input checked="" type="checkbox"/> Landscape Requirements - Article VIII: Landscape Requirements

DOCUMENTATION SUBMITTED

<input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> Landscape Plan <input type="checkbox"/> Lighting Plan <input checked="" type="checkbox"/> Survey <input checked="" type="checkbox"/> Photographs <input checked="" type="checkbox"/> Other: Computer Renderings
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Required documentation must be submitted to the Planning & Economic Development Department in order for the application to be placed on the Plan Commission meeting agenda. Although attendance by applicants at the Plan Commission meeting is optional, it is STRONGLY ADVISED that applicants make every effort to attend. Failure to attend can result in the denial or delay of an application due to incomplete information. Fees: the required fee of \$250 shall be submitted with this application, and shall not be refunded should this application be denied.

I hereby apply for a conditional use permit, and I acknowledge that the information above is complete and accurate; that the work will be in conformance with the ordinances and codes of the City of Marshfield and with Wisconsin Statutes and Building Codes; that the Plan Commission may recommend conditions not expressly stated, prior to the meeting, in documentation or by staff, or deny in part or in whole this request; that I understand this form is not in itself a conditional use permit but only an application for one and is valid only with procurement of applicable approvals. The Common Council shall be the final approval authority for the conditional use. In addition, as owner or authorized agent, my signature authorizes the City Staff or their representatives including members of the Plan Commission and Common Council to visit and inspect the property for which this application is being submitted.

Applicant Signature: Marcus J. Zettler, Architect

Date: April 26, 2016



5-5-16

Josh Miller
City of Marshfield City Planner
630 S Central Ave
6th Floor, Suite 602
Marshfield, WI 54449

Dear Mr. Miller:

This letter is in regard to the proposed addition to the Columbus Catholic high school, located at 710 S Columbus Avenue.

Per our past phone conversation the scope of the project site work includes:

Omitting the south drive off the end of the building

Adding a new drive onto eight street roughly 1,050 SF, or about 42' long by 25' wide

In addition, we are not exceeding the city policy for incorporating parking islands by keeping our design below 1200 SF of new paving. Therefore we are requesting the city to grant approval to move forward with our project and not incorporate new islands into an existing parking lot.

If you have any questions do not hesitate to contact me.

Sincerely

Joe Dolezal
The Boson Company



April 29, 2016

Sam Schroeder
Zoning Administrator
City of Marshfield
630 South Central Avenue
Marshfield, WI 54449

RE: CUP Application – Columbus High/Middle School

Dear Mr. Schroeder:

Here is the information you requested:

# of Seats in OLP Church	800 seats as bench
# of Employees at OLP School	17 Employees
Sq. ft. Floor Area of 510 S. Columbus	6260 sq. ft.
# of Employees at Middle School	8 Employees
# of Employees at High School	30 Employees
Capacity of High School Student Population	136 High School Population
Capacity of Middle School & High School Population	240 Middle & High School Population
Max Capacity of High School with Gym at Full Assembly with Chairs & Bleachers	1897 Maximum Gym Capacity

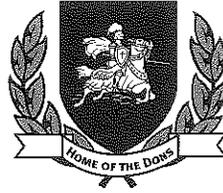
Sincerely,

THE BOSON COMPANY, INC.

Joe Dolezal

JD:lv

COLUMBUS



CATHOLIC SCHOOLS

May 3, 2016

To Whom It May Concern;

Schools

Columbus Catholic
High School

Columbus Catholic
Middle School

Our Lady of Peace
Intermediate School

Saint John the Baptist
Primary School

The science lab addition that Columbus Catholic High School is planning will not affect the parking needs of CCHS. We are not planning on adding additional staffing. The current two science labs are outdated and located on the middle school wing of the building. The addition will allow us to move those students to the high school wing. While we would love increased enrollment, we are not predicting an increase of students because of the addition.

Sincerely,

Steven Van Wyhe
Principal

**Community
Parishes**

Corpus Christi

Our Lady of Peace

Sacred Heart of Jesus

St. John the Baptist

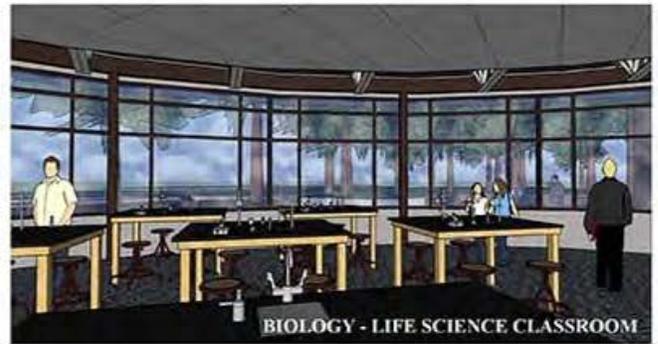
St. Michael's

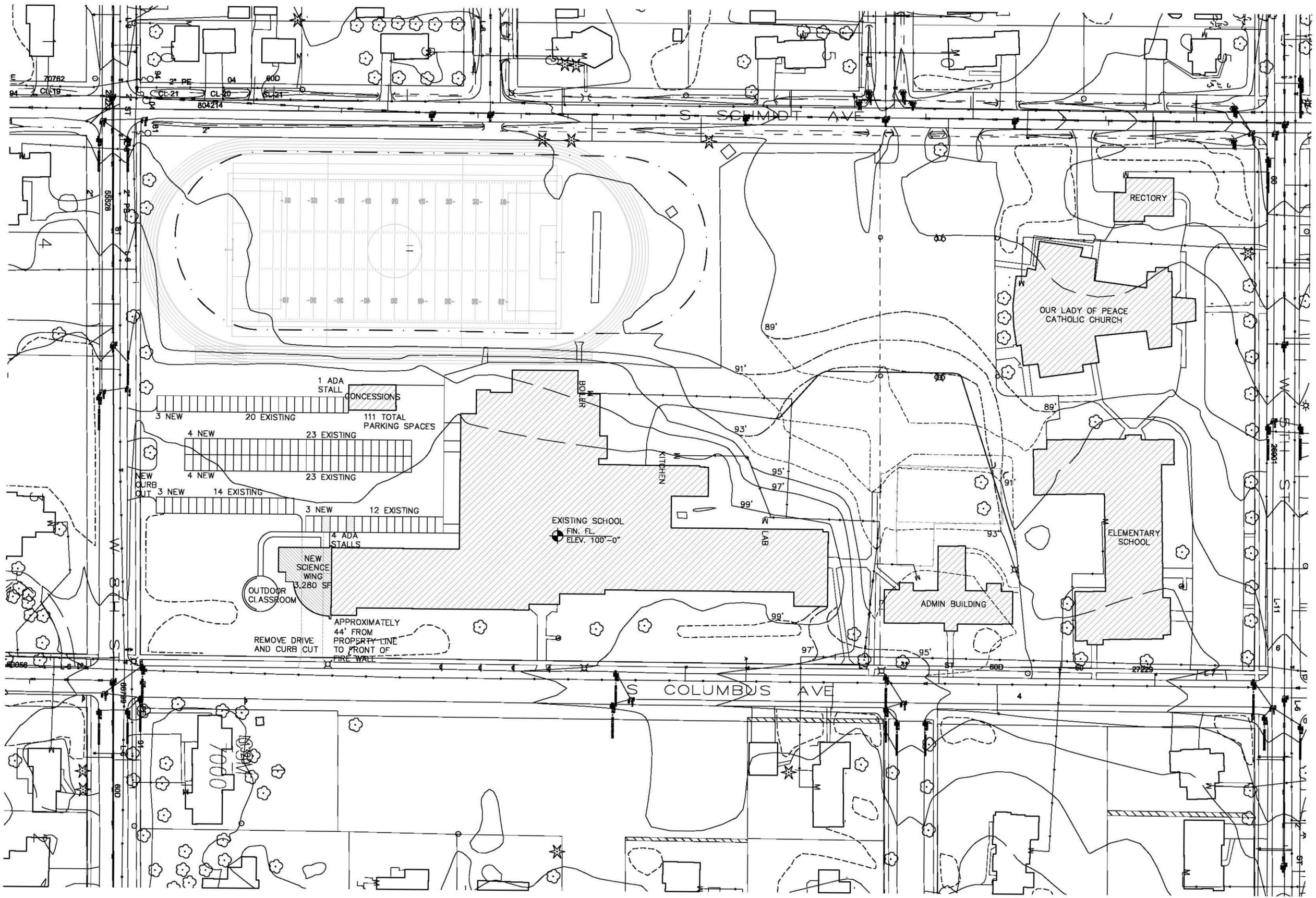
Central Office

710 South Columbus Avenue Marshfield, WI 54449
715-387-1177 Fax 715-384-4535

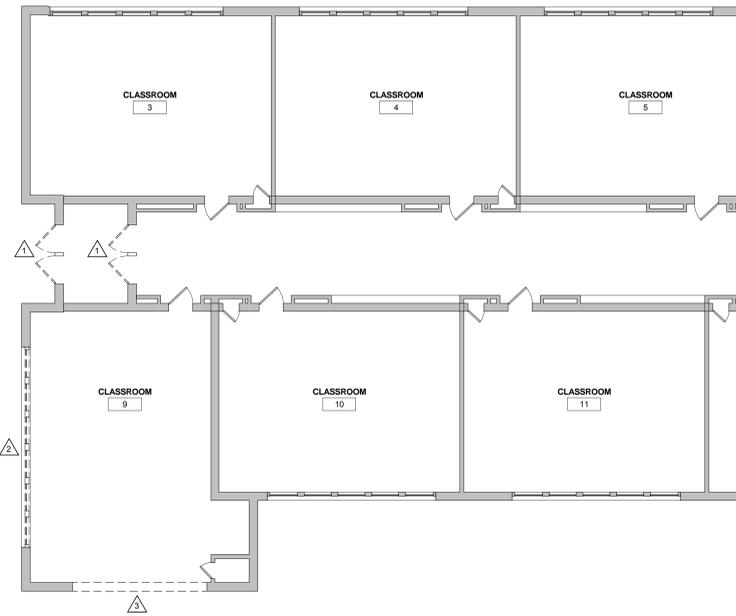


COLUMBUS CATHOLIC HIGH SCHOOL - SCIENCE ADDITION



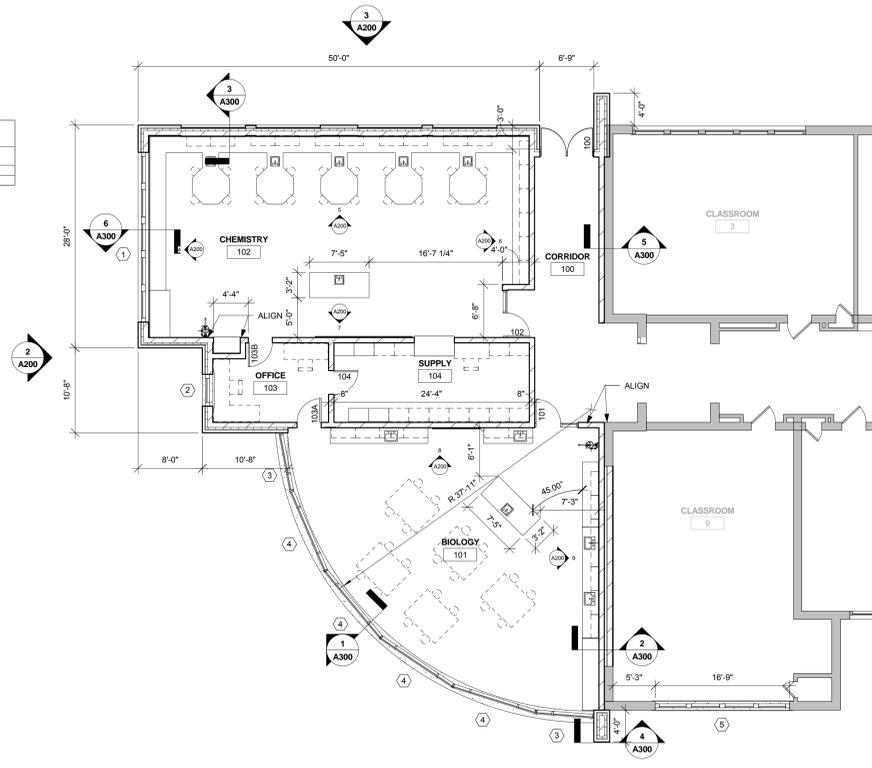


SITE PLAN
N.T.S.



1 DEMO FLOOR PLAN
1/8" = 1'-0"

KEY NOTES REMOVAL	
1	REMOVE EXTERIOR DOORS, PREPARE AND FINISH OPENING FOR NEW PAINT
2	REMOVE WINDOW AND SILL
3	CREATE OPENING FOR NEW WINDOW



2 FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES:	
A	SEE ID SHEETS FOR FLOOR AND WALL FINISH LAYOUTS.
B	LOOSE FURNISHINGS EXCEPT AS NOTED SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
C	VERIFY EXACT SIZE AND LOCATION OF ALL MECHANICAL, PLUMB AND ELEC. OPENINGS - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH AT ALL VISIBLE AREAS. ALL OPENING SHALL BE SEALED AFTER UTILITY INSTALLATION.
D	PAINT ALL EXPOSED STEEL LINTELS.
E	INSTALL BULLNOISE CMU AT ALL OUTSIDE CORNERS W/ TIE AND AT DOOR JAMBS AS DETAIL. NO BULLNOISE AT WINDOW JAMBS.
F	SEE STRUCTURAL FOR SLAB CONTROL JOINTS.
G	SEE AS10 FOR WALL CONTROL JOINT DETAILS. SEE PLANS AND ELEVATIONS FOR CJ LOCATIONS. CJ = CONTROL JOINTS.
H	REFER TO OVERALL PLANS FOR FIRE RATING LOCATIONS AND ACCESSIBILITY ROUTES.
J	EXTEND ALL WALLS TO DECK UNLESS NOTED OTHERWISE. SEE A500 FOR TOP OF WALL DETAILS.
K	UNLESS NOTED OTHERWISE RESTROOM FLOORS SHALL BE SLOPED A MIN. 1/8" TO FLOOR DRAINS - TO "CENTER", IF NO FLOOR DRAINS.
L	FIXED EQUIPMENT IS SHOWN ON THIS PLAN FOR COORDINATION. SEE SHEETS A130-A133 FOR ALL EQUIPMENT NOTES.
M	SEE A500 FOR TYPICAL HEAD FLASHING AND THROUGH-WALL FLASHING ISOMETRIC DETAILS.
N	

LEGEND:	
(A)	SYMBOL INDICATES WALL TYPE - SEE SHEET A600 FOR WALL TYPE DETAILS.
(W)	SYMBOL INDICATES WINDOW TYPE. SEE SHEET A600 FOR WINDOW FRAME ELEVATIONS.
(N)	SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
(---)	1 HOUR WALL

**ARCHITECTURE
ENGINEERING
INTERIOR DESIGN**

HSR ASSOCIATES INC.
100 MILWAUKEE STREET
LA CROSSE, WISCONSIN
PHONE: 608.784.1830
FAX: 608.782.5844
WEB SITE: www.hsrassociates.com

BOSCON
Collaborate | Construct

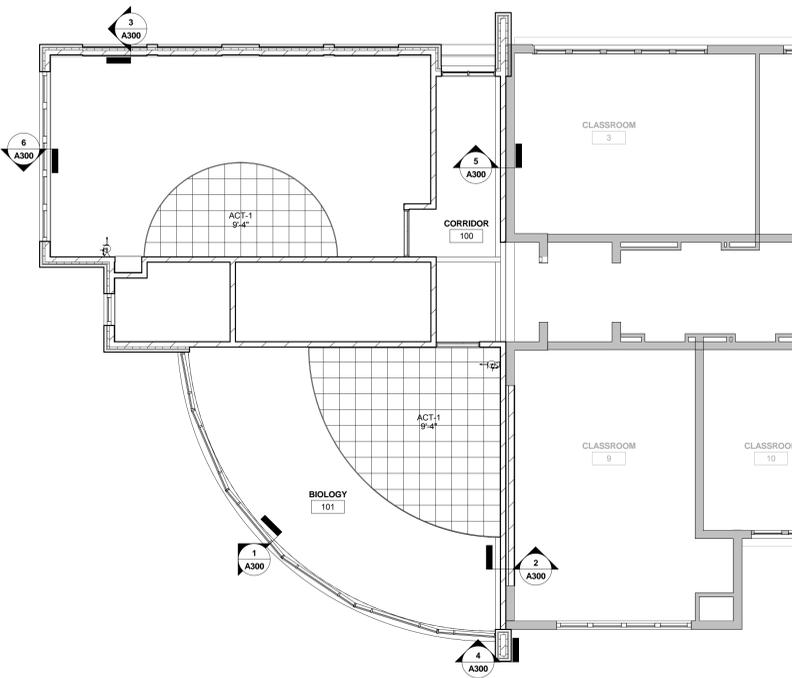
The Boson Company, Inc.
2613 W. VETERANS PARKWAY
MARSHFIELD, WISCONSIN
PHONE: 715.384.3184
FAX: 715.384.5872
WEB SITE: www.bosonco.com

Consultant:

**COLUMBUS CATHOLIC HIGH SCHOOL
NEW ADDITION PHASE-1**

Project Location: 710 S COLUMBUS AVE. MARSHFIELD, WI 54449

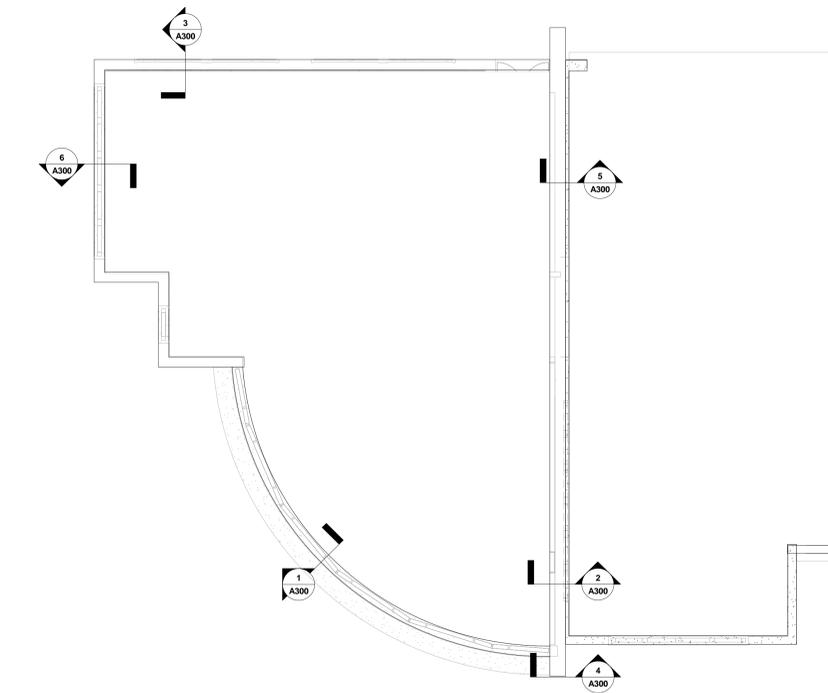
FLOOR PLANS



3 REFLECTED CEILING PLAN
1/8" = 1'-0"

GENERAL NOTES:	
A	SEE MECH. FOR REQUIRED CLG. ACCESS PANEL LOCATIONS & SIZES.
B	SEE MECH. FOR CLG. GRILLE INFORMATION
C	SEE ELEC. FOR LIGHTING TYPES
D	ALL INTERIOR PARTITIONS TO EXTEND TO BOTTOM OF DECK UNLESS OTHERWISE NOTED. CLOSE DECK FLUTES AT TOP OF WALL W/ NEOPRENE FILLER OR FIRE STOPPING SYSTEM.
E	NOTE: SEE EQUIPMENT PLANS FOR LOCATIONS OF OTHER EQUIPMENT.
F	OVERHEAD PROJECTORS ARE SHOWN CENTERED ON THE SCREEN AND 10'-0" AWAY. CONFIRM MANUFACTURER RECOMMENDED DISTANCE FROM SCREEN.
G	ALL EXTERIOR EXPOSED STEEL LINTEL SHEADERS SHALL BE GALVANIZED, PRIME AND PAINTED UNLESS NOTED OTHERWISE.
H	REFER TO ROOM FINISH SCHEDULE FOR OTHER FINISHES
I	WHERE NO CEILING IS INSTALLED CONTRACTOR SHALL KEEP ALL MEP ABOVE OR EVEN WITH THE LEVEL OF THE LIGHTS. MEP SHALL RUN IN NEAT ORDERLY APPEARANCE GENERALLY PARALLEL OR PERPENDICULAR TO STRUCTURE WALLS IN THESE ROOMS TO RUN TO DECK.
J	ALL REMAINING ANNULAR SPACE AROUND ITEMS PENETRATING WALLS SHALL BE NEATLY SEALED. PENETRATIONS OF FIRE RATED WALLS SHALL BE UL RATED THE SAME AS THE WALL.
K	HANGERS AND SUPPORTS: MECHANICAL, PLUMBING, ELECTRICAL AND OTHER CABLING CONTRACTORS SHALL NOT HANG OR SUPPORT THE WORK FROM THE ROOF DECK IN ANY FASHION. CONDUIT RUNS SHALL NOT BE LAID ON ROOF DECK NOR LAID ON THE STRUCTURAL SUPPORT THAT SUPPORTS THE ROOF DECK. NO FASTENERS SHALL PENETRATE ROOF DECK BY ANY TRADE OTHER THAN THE ROOFING CONTRACTOR IF MECHANICAL FASTENING IS SPECIFIED FOR THE NEW ROOF SYSTEM.

LEGEND:	
(Symbol)	LIGHT FIXTURE - SEE ELECTRICAL
(Symbol)	LIGHT FIXTURE - SEE ELECTRICAL
(Symbol)	LIGHT FIXTURE - SEE ELECTRICAL
(Symbol)	LIGHT FIXTURE - SEE ELECTRICAL
(Symbol)	SPEAKER - SEE ELECTRICAL
(Symbol)	TUBE LIGHT
(Symbol)	SUPPLY - SEE MECHANICAL
(Symbol)	RETURN - SEE MECHANICAL
(Symbol)	EXHAUST - SEE MECHANICAL
(Symbol)	DESTRAT FAN - SEE MECHANICAL
(Symbol)	EXHAUST UNIT - SEE MECHANICAL
(Symbol)	RADIANT HEATER - SEE MECHANICAL
(Symbol)	CEILING ACCESS PANEL - SEE SPECIFICATIONS



4 ROOF PLAN
1/8" = 1'-0"

GENERAL ROOF NOTES:	
A	SEE ROOF SYSTEM NOTES FOR MINIMUM AND AVERAGE INSULATION VALUES.
B	ROOFING CONTRACTOR TO VERIFY ALL TAPERED INSULATION DRAWING PLAN DRAIN LOCATIONS WITH PHYSICAL LOCATION OF ROOF DRAIN AS INSTALLED BY PLUMBING TRADE PRIOR TO ALL APPROVAL OF TAPERED INSULATION SUBMITTAL DRAWING.
C	VERIFY ROOF EQUIPMENT AND PENETRATIONS WITH ALL TRADES. EQUIPMENT SHOWN IS GRAPHIC ONLY.
D	ALL METAL ITEMS AT ROOF TOPS, UNLESS REQUIRED OTHERWISE BY EQUIPMENT MANUFACTURER, SHALL BE PAINTED TO MATCH OTHER TRIM BY THE G.C. - PREPARE, PRIME AND PAINT AS REQUIRED. PROVIDE FACTORY PRIME PRODUCTS WHERE POSSIBLE.
E	ROOF PENETRATIONS FOR DRAINS, VENTS, ETC. SHALL BE COMPLETED AS PER CURRENT SMACNA REQUIREMENTS AND THE ROOF MANUFACTURER'S APPROVED DETAILS FOR WARRANTY SATISFACTION. COORDINATE QUANTITY AND LOCATIONS WITH MEP CONTRACTOR. PROVIDE CURBS WHERE REQUIRED.
F	ALL METAL ROOF AND FLASHING SHALL MEET CURRENT SMACNA REQUIREMENTS AND MANUFACTURER'S SPECIFIED WARRANTY.
G	WHERE MEMBRANE IS SHOWN OVER TOP OF WALL EXTEND DOWN OPPOSITE SIDE AND SECURE TO BLOCKING.
H	TOP OF WALL BLOCKING SHOWN IS GRAPHIC. PROVIDE BLOCKING THAT SHALL BE ANCHORED TO WALL BELOW AS RECOMMENDED BY ROOFING SYSTEM MANUFACTURER TO WITHSTAND WIND UPLIFT AS STATED IN CODE. TOP OF WALLS SHALL SLOPE TOWARDS ROOF.
I	INSTALL BOND BREAK BETWEEN ALL WOOD BLOCKING AND CMU OR CONCRETE.
J	WHERE ROOF DRAINS PENETRATE ABOVE ROOMS W/ NO CEILING CARE SHALL BE TAKEN TO ENSURE NEAT CUTS IN THE DECK AND PIPING INSULATION SHALL BE CUT AND ANCHORED NEATLY @ RIGHT ANGLES TO STRUCTURE.
K	THE GENERAL CONTRACTOR, ROOFING CONTRACTOR AND MEP CONTRACTORS SHALL MEET TO PLAN AND DISCUSS FINAL ROOF EQUIT. LOCATIONS. TIMING OF MEETING SHALL OCCUR BEFORE INSTALLATION OF ROOF DRAIN LEADERS TO ALLOW FOR ANY REQUIRED ADJUSTMENTS.
L	THE GENERAL CONTRACTOR, ROOFING CONTRACTOR AND PLUMBING CONTRACTORS SHALL MEET TO PLAN AND DISCUSS FINAL ROOF DRAIN LOCATIONS. TAPERED INSULATION DRAWING SHALL BE RE-SUBMITTED TO THE ME PASTER DRAIN LOCATIONS ARE APPROVED BY ALL. IN WRITING. TAPERED INSULATION INSTALLED CONTRARY TO THE LOW POINT OF THE DRAIN, OVER FLOW OR SCUPPER LOCATIONS SHALL BE CAUSE FOR REJECTION OF WORK.

ROOF SYSTEM DESCRIPTIONS:	
(A)	ADHERED, SINGLE MEMBRANE ROOFING SYSTEM ON 1/4" PER FOOT TAPERED POLYISOCYANURATE INSULATION SYSTEM CONSISTING OF TAPERED INSUL OVER MINIMUM 3" BASE LAYER. INSTALL REQUIRED THICKNESS TO MEET AVERAGE R-VALUE OF 27.5. INSTALL INSULATION OVER 1 MIL POLY VAPOR BARRIER OVER METAL DECK. VAPOR BARRIER SHALL BE TAPED SEAL AT PERIMETER AND OVERLAPPED SEAMS.
(B)	STANDING SEAM METAL ROOF SYSTEM OVER PL WOOD ON 4" (R-30) POLYISOCYANURATE INSUL. METAL DECK AND SLOPED STRUCTURE. (VERIFY W/ MANUF. SYSTEM APPROVED).

ROOF EQUIPMENT LEGEND:	
(Symbol)	AIR COOLED CONDENSING UNIT-SEE MECHANICAL.
(Symbol)	INTAKE VENT HOOD-SEE MECHANICAL.
(Symbol)	EXHAUST VENT HOOD-SEE MECHANICAL.
(Symbol)	AIR INTAKE/EXHAUST VENT-SEE MECHANICAL.
(Symbol)	PLUMBING VENT-SEE PLUMBING.
(Symbol)	RD = ROOF DRAIN WITH 4" SQUARE SUMP. INSTALL TO MEET ROOF WARRANTY REQUIREMENT - SEE PLUMBING

Project Name: **COLUMBUS CATHOLIC HIGH SCHOOL NEW ADDITION PHASE-1**

Project Location: 710 S COLUMBUS AVE. MARSHFIELD, WI 54449

Project Number: **14032**

Project Date: **June 17th, 2016**

Drawn By: **HSR**

Key Plan:

REVIEW STAMP

PRELIMINARY - NOT FOR CONSTRUCTION

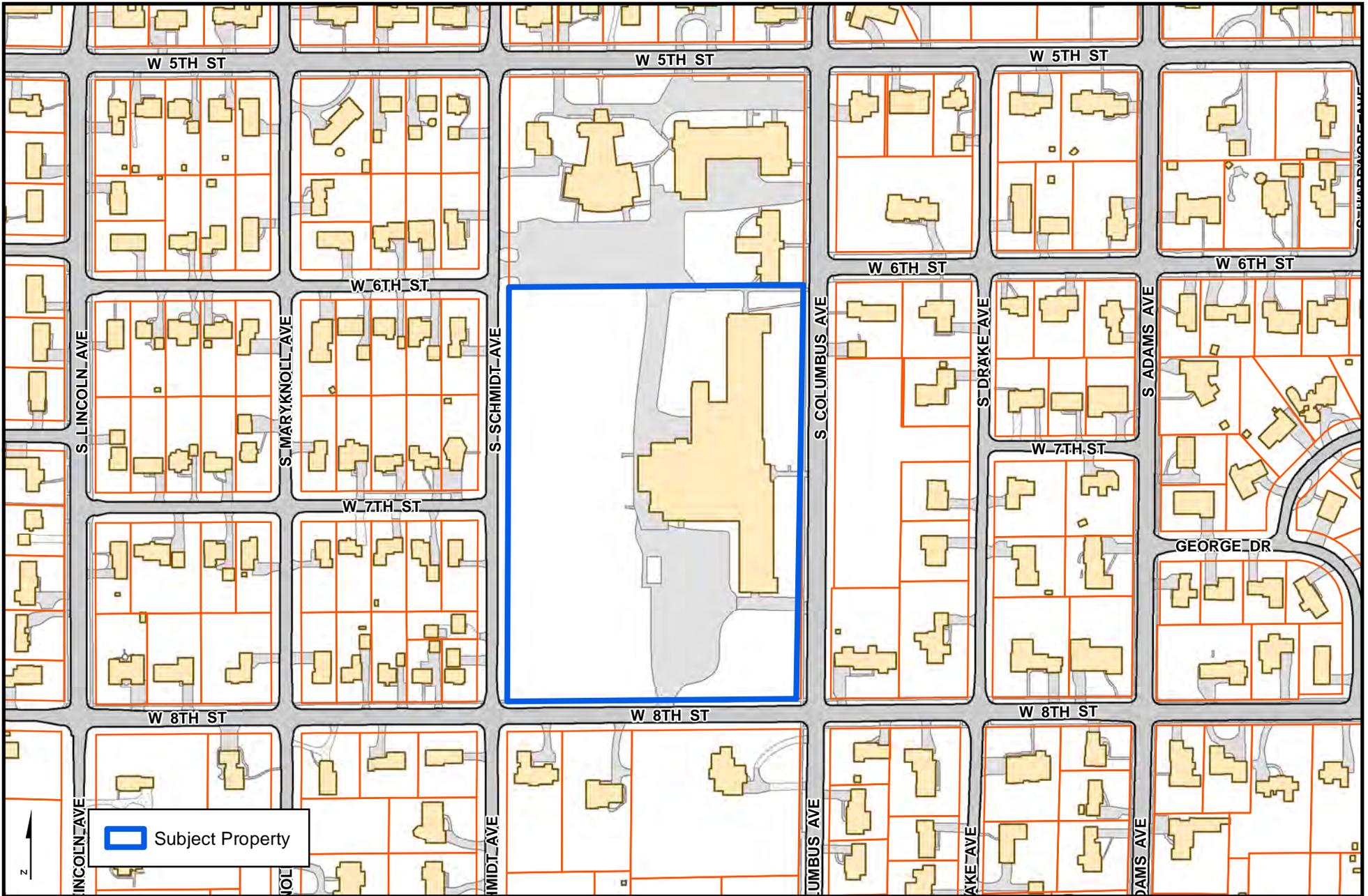
Revisions:

No.	Description	Date

Graphic Scale: **VARIES**

Last Update: **4/29/2016 11:23:01 AM**

A100



CUP - New Science Wing Addition - Columbus High School
City of Marshfield - Plan Commission
Meeting Date: May 17, 2016

Map Not To Scale
 For Reference Only

ATTENTION: The representation of data presented herein is intended for reference purposes only; the City of Marshfield assumes no responsibility for the accuracy of the information provided. Any duplication without consent is prohibited.





City of Marshfield Memorandum

TO: Plan Commission
FROM: Josh Miller, City Planner
DATE: May 17, 2016

RE: Conditional Use Request by Shannon Schnitzler, on behalf of Christopher and Lindsey Bishop, to permit a 4-bed Adult Family Home, "Community Living Arrangement" use in the "SR-2" Single Family Residential district, with plans to construct an addition in the backyard and expand to an 8-bed Community Based Residential Facility in the future. The request includes an exception for the total "Community Living Arrangement" population to exceed 1% of the City population, located at 2300 East Fillmore Street (Parcel 33-05650).

Background

The Applicant is requesting a Conditional Use Permit to establish a 4-bed Adult Family Home (AFH) with future plans to establish an 8-bed Community Based Residential Facility (CBRF), located at 2300 East Fillmore Street, zoned "SR-2" Single Family Residential District. The subject property is owned by Christopher and Lindsey Bishop and is presently utilized as a single-family residence.

Shannon Schnitzler, the applicant, is proposing to purchase the property for the purpose of opening a state licensed facility with a care provider on-site 24 hours a day, 365 days. The seller has submitted written approval of the application.

There are currently three bedrooms on the ground level of the house. In order to convert the home into a 4-bed AFH, the Applicant will be converting the garage into two additional bedrooms, leaving the master bedroom as sleeping quarters for the owner/caretaker of the facility. The Applicant is proposing to have a live-in staff, with one other staff person on hand for a maximum of two staff at one time. The live-in staff person may or may not be there during day hours when other staff is working. When expanding to an 8-bed Community Based Residential Facility, the plan would be to no longer have a live-in staff person, but would have 1-2 staff people there at all times.

Both a 4-bed Adult Family Home and an 8-bed Community Based Residential Facility (CBRF) (1-8 resident Community Living Arrangement) are permitted uses as long as they meet the regulations in Section 18-57(11) in the "SR-2" zoning district. In this case, a Conditional Use Permit is needed to allow an exception to the City population limitation. The State grants each community the ability to

establish limits on Community Living Arrangements if the population of such facilities exceeds 1% of the total City or Aldermanic District population in which the facility is proposed to be located. The City's process for granting exceptions to the 1% population limitation is the Conditional Use Permit process. Currently, the Community Living Arrangement populations in the City are over 1.6% of the City's population, a Conditional Use Permit is required for all future requests.

During the review of the application, staff learned that the subdivision has covenants restricting certain aspects of housing development. One of the restrictions is that each house must be setback 50 feet from any street line and have a 2-car attached garage. The applicant is proposing to remodel the garage for living quarters and the ramp proposed along the west side of the house will likely encroach into that 50 foot setback, potentially violating the subdivision covenant. However, the Plan Commission is responsible for reviewing the application request against the zoning code and is not responsible for enforcing deed restrictions or covenants.

Analysis

Under Section 18-57(11) of the zoning code, there are multiple regulations for Community Living Arrangements (1-8 residents). These regulations include a distance separation from other care facilities, a maximum number of beds per City and Alderman District population, property screening, and parking requirements. The only regulation the Applicant is not able to meet is the City population limitation.

The Applicant is requesting an exception to the related statutory provision for total capacity of Community Living Arrangements in a city. The maximum number of beds per City and Aldermanic District allows cities to control the total number and location of care facilities if the total capacity of all licensed facilities exceeds either 25 persons or 1% of the total population on a citywide basis or within an aldermanic district, whichever is greater. If the capacity is exceeded, the Applicant may request an exception and the City Plan Commission may grant or deny the request.

As of January 1, 2016, the City of Marshfield regulated care facilities database shows licensed Community Living Arrangements (Community Based Residential Facilities and Adult Family Homes) in Marshfield provide 312 beds, plus the City has approved a 4-bed Adult Family Home (Monique Lane) that is not on the database yet, for a total of 316 beds. The proposed application would bring the total Community Living Arrangement bed count to 324 beds. A 4-bed AFH on South Sycamore is no longer listed in the State Directory. If that facility were to start up again within a year of closing (summer of 2015), there would be an additional 4 beds added to the above total.

Based on the most recent available data (Estimates from August 10, 2015), U.S. Census population estimate for Marshfield is 19,186. Therefore, the total capacity

for Community Living Arrangements is only 191 beds. Any additional facilities will to exceed this limit and will continue require a Conditional Use Permit.

The database shows licensed Community Living Arrangements in Aldermanic District 8 currently provides a total of 4 beds, so an additional 8 beds would put the total at 12 beds. Aldermanic District 8 has a population of 2,012 based on the 2010 U.S. Census population estimate and would therefore allow up to 20 beds before an exception to that standard is needed.

Based on the 2008 Adult Family Home and Community-Based Residential Facility (CBRF) Task Force Report and Recommendation, the demand for all types of assisted-living arrangements is expected to increase dramatically in Marshfield within future years. Greater growth is anticipated in Marshfield because of the existence of high-quality medical care for the entire range of assisted living clients through the Marshfield Clinic. The Clinic provides much-sought-after services for developmentally disabled, physically handicapped, geriatric and cognitively disabled citizens. Hence, Marshfield can easily become a location of choice for assisted living facilities. Since the report was published in August of 2008, the following regulated care facilities have been approved by the City Plan Commission and Common Council:

- 60-bed CBRF (Stoney River)
- 24-bed CBRF (Stoney River II)
- 20-bed CBRF (Wells Nature View)
- 8 bed CBRF (Norwood Health Center)
- 4-bed AFH (on Monique Lane)
- two 4-bed AFH to increase to two 8-bed CBRF's
- 4-bed AFH (E Doege St)

The zoning code requires that one parking space be provided for each employee of the largest shift, plus one space for every three beds. Based on that calculation of 2 employees and 4 beds, the Applicant would need to provide 3-4 parking stalls on site. It is feasible to park 4 vehicles in the driveway. Therefore, the Applicant can meet the requirement for on-site parking. Once they convert the facility to an 8-bed CBRF, they will provide the additional required parking. Space for more parking is available on-site and the Applicant has indicated they are able to increase parking when the expansion takes place.

In most cases, because there are a number of regulated care facilities throughout the City, an application for an AFH or CBRF would require an exception to the 2,000 foot separation requirement. Since this is the second regulated care facility in the neighborhood and it is located at a distance greater than 2,000 feet from any other regulated care facility, this exception is not needed.

The following information is based on the specific requirements outlined in Section 18-161(6) Conditional Use Review Criteria for Plan Commission

consideration

Conditional Use Review Criteria of 18-161(6)(c)

(c) *The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:*

1. *Is in harmony with the recommendations of the Comprehensive Plan.*

Housing & Neighborhood Development – The proposed development will provide additional assisted-living housing in the city’s northeast quadrant. A Comprehensive Plan goal is to monitor the need for additional programs and housing options. The Plan establishes the following housing policy for the assisted-living sector “continue to consider special needs housing, such as community-based residential facilities (CBRFs), based on the community need, impact on neighborhood, physical design, and the availability of existing facilities.”

2. *Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.*

Four to eight additional residents on the property should not have an adverse impact to the neighborhood. Parking for the residents and employees shall be provided on-site. Because this facility is housed within a single-family home, screening is not required. Where ever exterior changes are planned (converting the garage and constructing the addition), new siding and roof materials will match the rest of the house.

As referenced earlier, this subdivision does have covenants in place and staff would recommend they look into those restrictions as they proceed with the proposed Community Living Arrangement.

3. *Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.*

The consistency of the land use will not change from the original parcel. The property is still a residence it will just have a care provider on-site 24/7 and occasional staff.

4. *The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements,*

facilities, utilities or services provided by public agencies serving the subject property.

The subject property is already adequately served by public services, and requires no change or upgrade to services.

5. *The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.*

Providing needed housing to the elderly, developmentally disabled, and physically disabled in a residential setting is a public benefit. The facility is located in a single family residence and parking is provided on site, therefore, no adverse impacts are projected for the neighborhood due to the proposed AFH or CBRF.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE a Conditional Use Permit for a 4-Bed Adult Family Home with a future expansion to an 8-Bed Community Based Residential Facility at 2300 East Fillmore Street zoned "SR-2" Single Family Residential District with an exception to the City population limitations with the following conditions:

1. The Conditional Use Permit shall expire if the proper license to establish a 4-bed Adult Family Home is not obtained within 12 months of Common Council approval or if the license is not maintained for a period of 12 or more consecutive months.
2. The site plan for the ramps and addition are approved, allowing minor modifications to be approved administratively, including future driveway expansions needed to meet the parking requirements.
3. The facility must meet the minimum parking requirements before being issued a Certificate of Occupancy.

Attachments

1. Application
2. Location Map
3. Regulated Care Facilities Buffer Map

Concurrence:

A handwritten signature in black ink, appearing to read "Jason Angell". The signature is written in a cursive style with a long horizontal stroke at the end.

Jason Angell
Planning and Economic Development Director



MARSHFIELD
The City in the Center

Revised: 1/1/16

Development Services Department

City of Marshfield
630 South Central Avenue
6th Floor, Suite 602
Marshfield, WI 54449

Ph: 715-486-2077 Fax: 715-384-7631

Email: Sam.Schroeder@ci.marshfield.wi.us

**Conditional Use
Permit Application**

Fee: \$250.00

Today's Date: _____

OFFICE USE ONLY

Date Received: 4-21-16	Fee Receipt Number: 58545	Zoning District: SR-2	Parcel #: 33-05650
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SITE INFORMATION

Site Address: 2300 E. Fillmore	Present Land Use: Residential
Legal Description: C-MFLD MEADOWBROOK SUBD 1ST ADD LOT 39	

APPLICANT INFORMATION

Applicant Name: Shannon Schnitzler	Phone #: 715-207-3395	Email Address: schnitzlers@gmail.com
Address, City, State, Zip: M328 Fox Ave Marshfield WI		
The Applicant is the <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Representative/Other (Describe): Potential Owner		

OWNER INFORMATION (IF DIFFERENT THAN APPLICANT INFORMATION)

Owner Name: Christopher Bishop	Owner Phone #: 715-898-1276	Owner Email Address: lbishop1627@gmail.com
Owner Address, City, State, Zip: 2300 Fillmore St. Marshfield WI 54449		

DETAIL OF CONDITIONAL USE REQUEST

Proposed Land Use: 3 Bed Adult Family home	Proposed # of Employees:	Proposed Hours of Operation: 24/7
<input checked="" type="checkbox"/> Residential or <input type="checkbox"/> Nonresidential	Number of Buildings:	Number of Units:
Density (units per acre):		
Narrative of Conditional Use Request: This would initially be a 4 Bed adult family home with no changes to the footprint of the home aside from a ramp for handicap accessibility. In the future the plan is to expand with an 800-1000 sq. ft. addition off the back of the residence making it an 8 Bed CBRF		
Future Plans/Modifications: Addition to the back - see above		Time Needed to Finish Request: 2 years

CODE REQUIREMENT REFERENCES (ZONING CODE - CHAPTER 18)

<input type="checkbox"/> Setback Requirements - Article II: Establishment of Zoning Districts
<input type="checkbox"/> Parking Requirements - Article III: Land Use Regulations
<input type="checkbox"/> Lighting, Storage, and Parking Standards - Article VII: Design and Performance Standards
<input type="checkbox"/> Landscape Requirements - Article VIII: Landscape Requirements

DOCUMENTATION SUBMITTED

<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Landscape Plan	<input type="checkbox"/> Lighting Plan	<input type="checkbox"/> Survey	<input checked="" type="checkbox"/> Photographs	<input type="checkbox"/> Other:
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Required documentation must be submitted to the Planning & Economic Development Department in order for the application to be placed on the Plan Commission meeting agenda. Although attendance by applicants at the Plan Commission meeting is optional, it is STRONGLY ADVISED that applicants make every effort to attend. Failure to attend can result in the denial or delay of an application due to incomplete information. Fees: the required fee of \$250 shall be submitted with this application, and shall not be refunded should this application be denied.

I hereby apply for a conditional use permit, and I acknowledge that the information above is complete and accurate; that the work will be in conformance with the ordinances and codes of the City of Marshfield and with Wisconsin Statutes and Building Codes; that the Plan Commission may recommend conditions not expressly stated, prior to the meeting, in documentation or by staff, or deny in part or in whole this request; that I understand this form is not in itself a conditional use permit but only an application for one and is valid only with procurement of applicable approvals. The Common Council shall be the final approval authority for the conditional use. In addition, as owner or authorized agent, my signature authorizes the City Staff or their representatives including members of the Plan Commission and Common Council to visit and inspect the property for which this application is being submitted.

Applicant Signature: Shannon Schnitzler Date: 4/19/16

Christopher and Lindsey Bishop
2300 East Fillmore St.
Marshfield, WI 54449
(715) 898-1276 *home*
(920) 450-9892 *cell*
lbishop1627@gmail.com

April 19, 2016

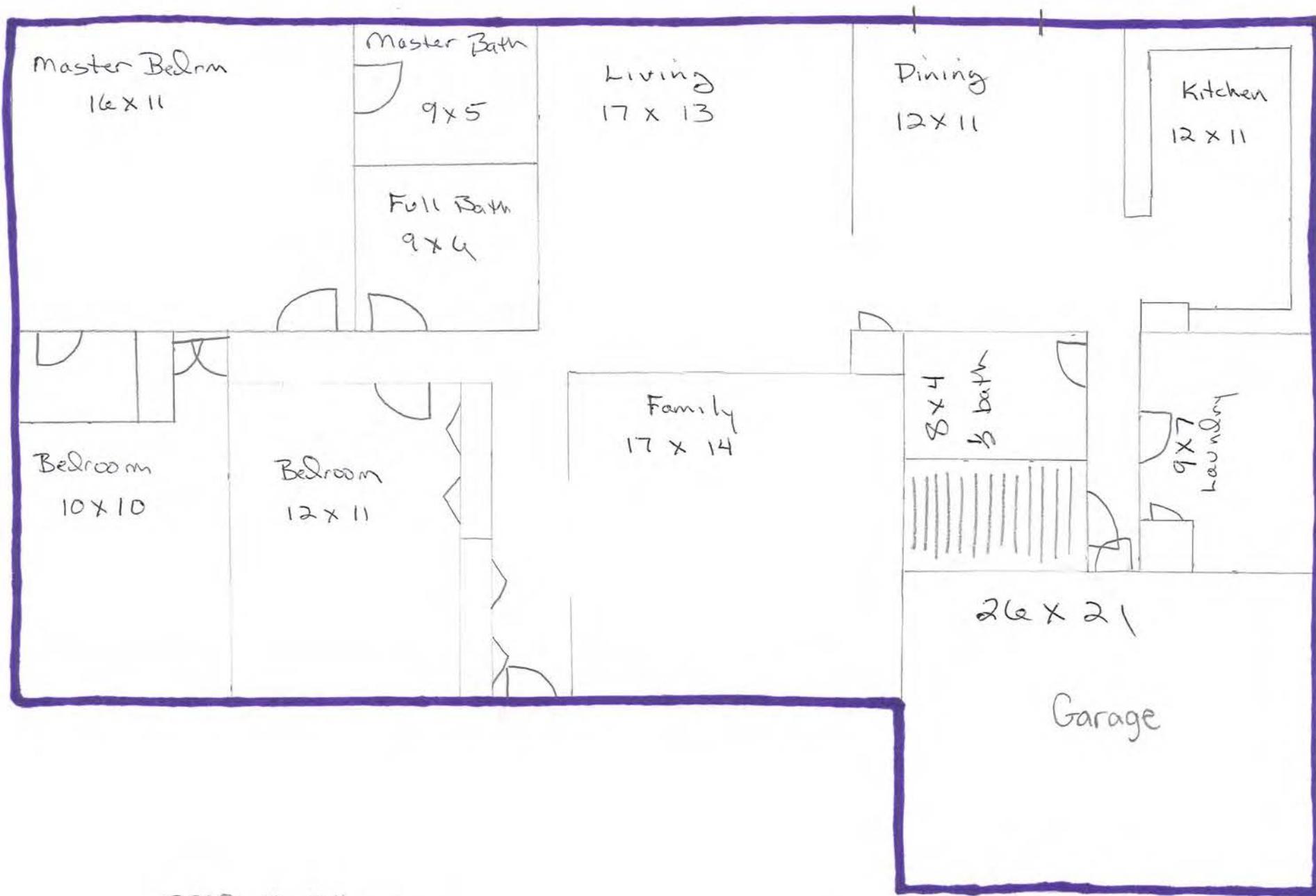
To Josh Miller, City Planner for the City of Marshfield;

We are writing this letter on behalf of Rob and Shannon Schnitzler. They would like to ask for a conditional use permit for the property at 2300 East Fillmore Street, Marshfield, WI 54449. We would like to give them permission to ask the city for this permit. If you have any questions or have any needed follow-up, please reach us at the contact information listed above.

Sincerely,

Christopher Bishop
Lindsey Bishop

Christopher & Lindsey Bishop

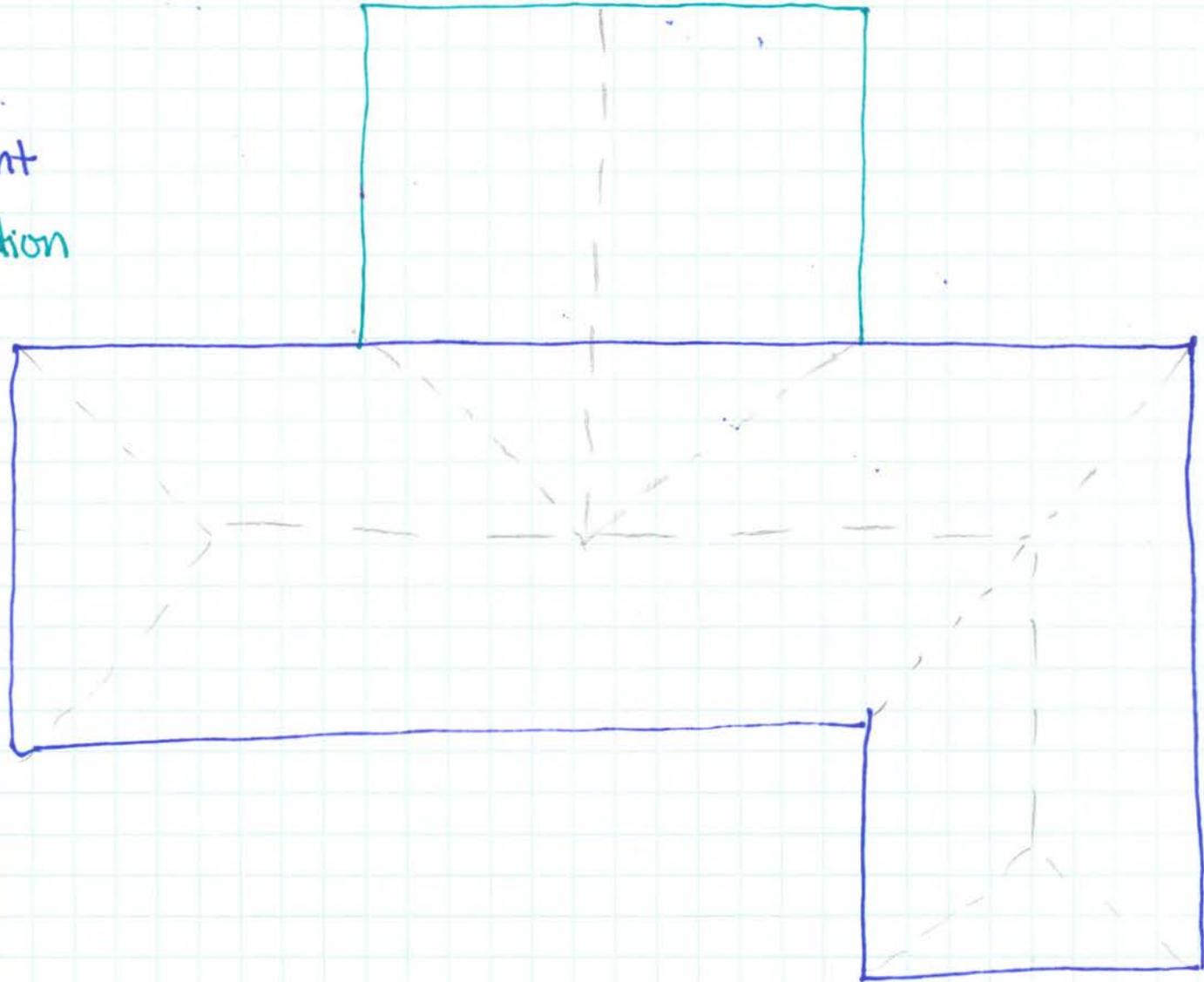


2300 E. Fillmore St.

Current Footprint

Future Addition

--- Roof lines



Front Yard After Converting Garage

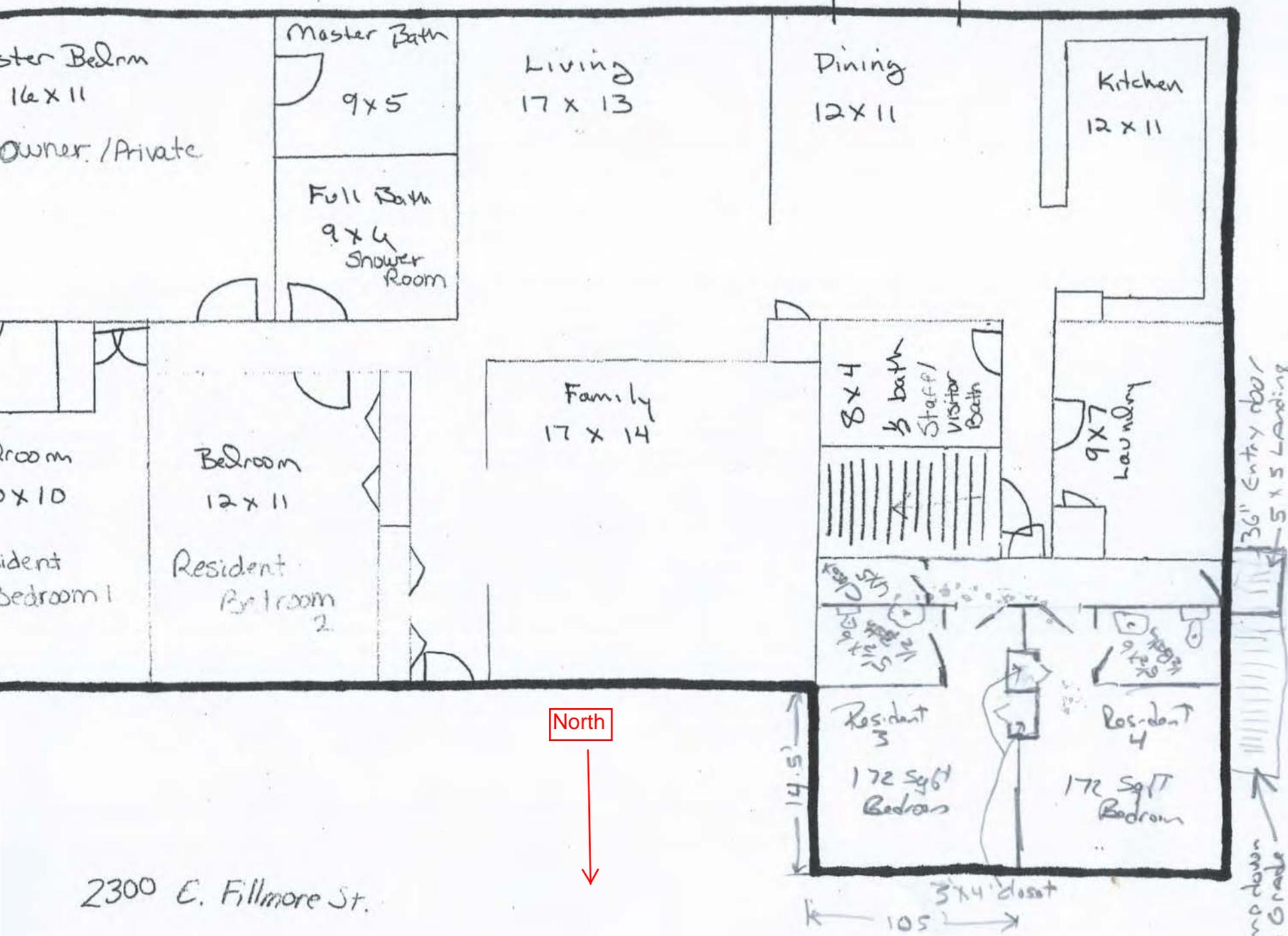


West Yard After Adding Accessible Ramp



Cement

Floor Plan After Converting Garage to Living Space



Site Plan After Addition for 8-bed CBRF

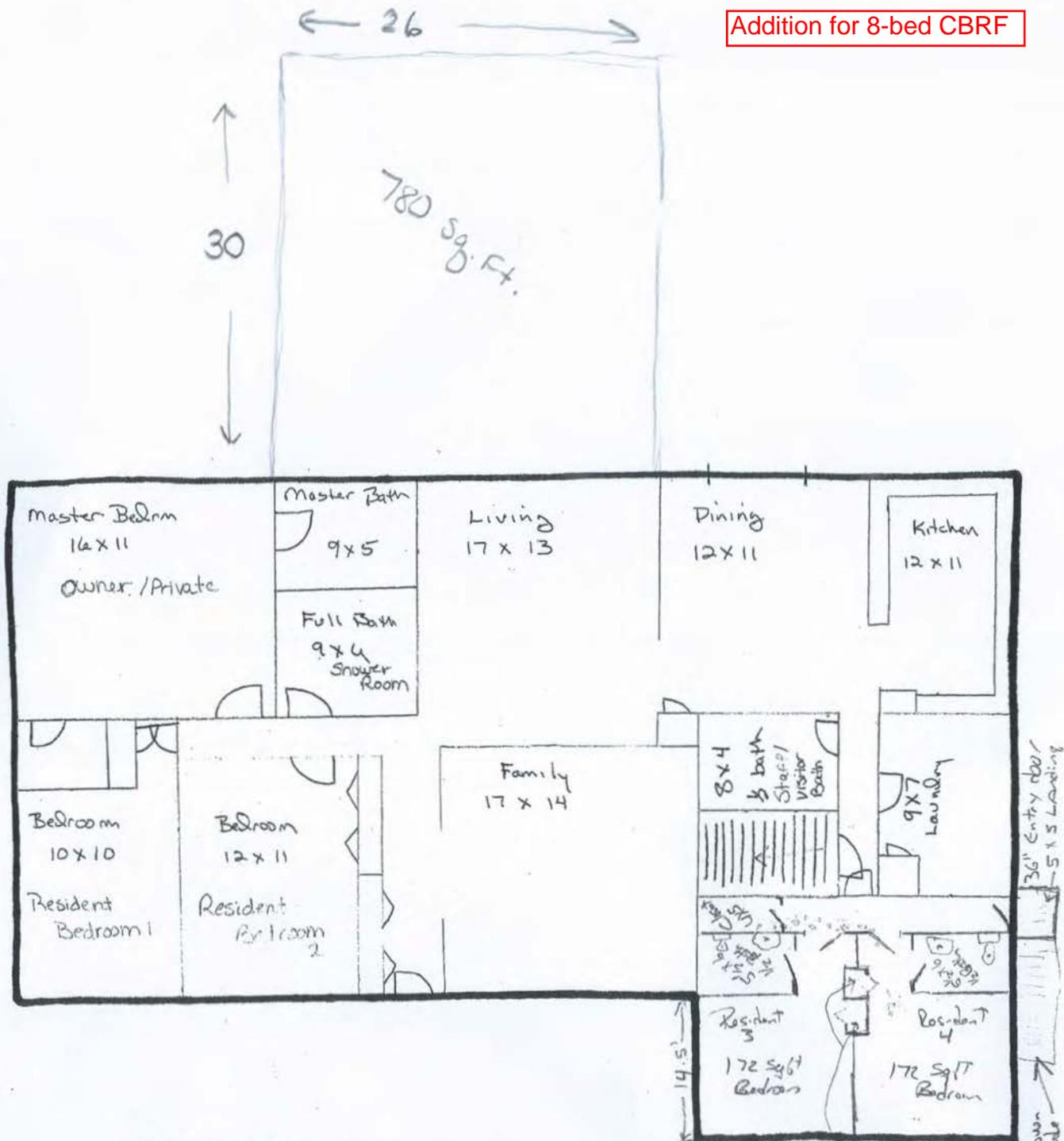


Imagery ©2016 Google, Map data ©2016 Google 50 ft



North

Addition for 8-bed CBRF

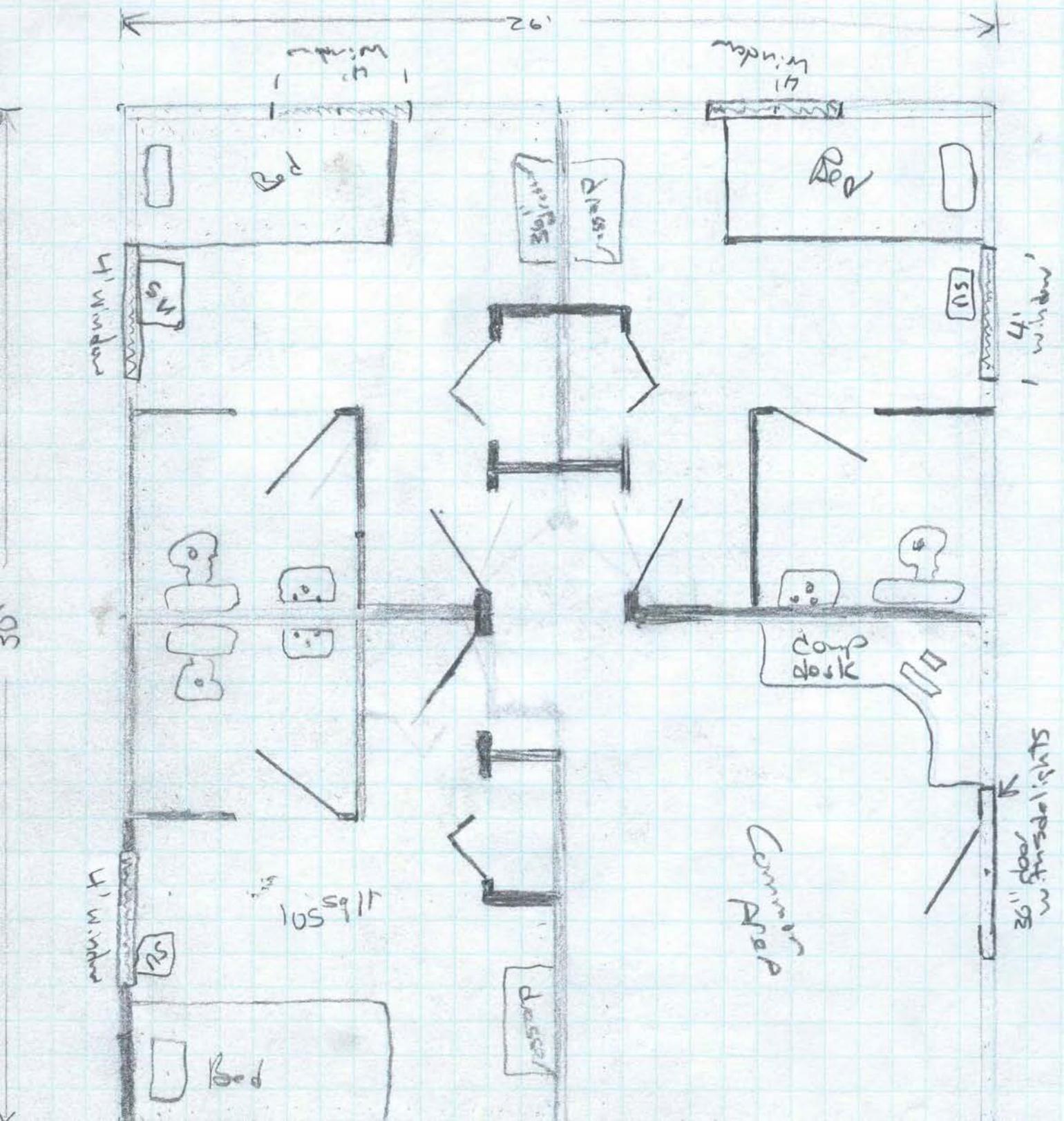


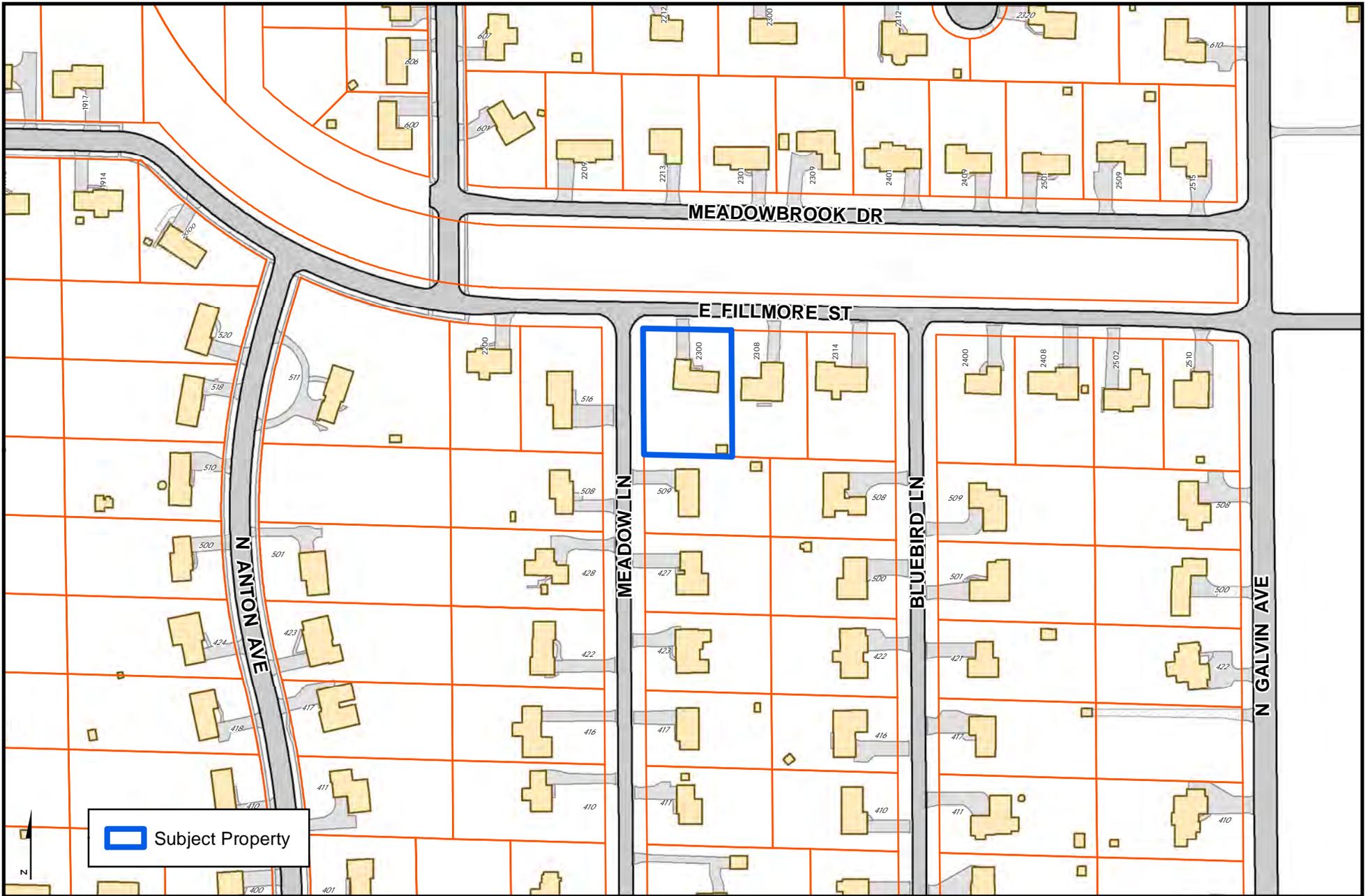
North

2300 C. Fillmore St.

Floor Plan For 8-bed CBRF Addition

North





CUP - 8-Bed CBRF - Shannon Schnitzler
City of Marshfield - Plan Commission
Meeting Date: May 17, 2016

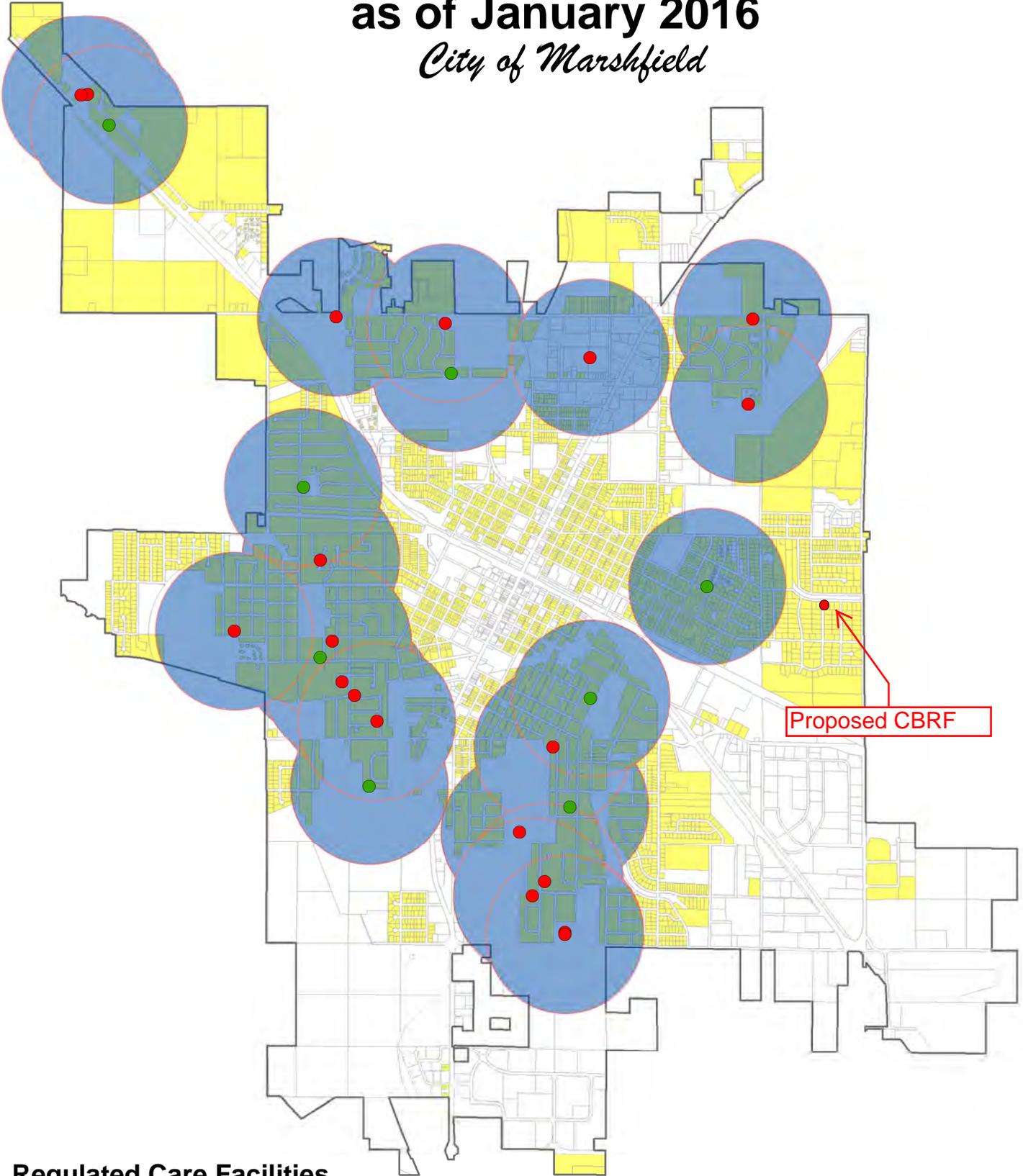
Map Not To Scale
 For Reference Only

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Regulated Care Facilities as of January 2016

City of Marshfield



Regulated Care Facilities

- Adult Family Home
- Community Based Residential Facility

- 2,000 ft. Distance Buffer 2016
- Residential Districts



City of Marshfield Memorandum

TO: Plan Commission
FROM: Sam Schroeder, Zoning Administrator
DATE: May 17, 2016

RE: Master Sign Plan Application – by Cindy Bluske with La Crosse Sign Company representing Kwik Trip for new signage at their proposed new site location at 4000 South Draxler Drive (parcel 33-07393) zoned “CMU” Community Mixed Use with exceptions to the regulations of the Municipal Sign Code.

Background

Kwik Trip is proposing to construct a new gas station/convenience store near the northeast corner of Veterans Parkway and Heritage Drive intersection just north of the Wisconsin DOT park and ride, located at 4000 South Draxler Drive. The proposed site will have frontage on both Veterans Parkway and South Draxler Drive, two access points off of South Draxler Drive, an approximate 7,000 square foot convenience store, unleaded gas pumps, diesel gas pumps, a CAT scale, truck parking, a small maintenance building, on-site storm water management, and will have the future capability of expanding their service to provide compressed natural gas to the area.

As part of this new development they are requesting a large amount of signage to identify their property along both street frontages and U.S. Highway 10.

Analysis

According to our Municipal Sign Code, Section 24-10, a master sign plan shall be required if two or more signs are proposed that do not meet all of the individual sign standards and if the Zoning Administrator determines that a master sign plan is needed because of project characteristics such as the number of proposed signs and/or site location relative to major transportation routes.

Allowable Signage

Section 24-04 limits each lot to 2 square feet of signage per linear foot of street frontage. Where a lot abuts multiple frontages, the total sign area that is oriented towards that particular street may not exceed that portion of the total sign area allocation in addition to the individual sign type requirements.

Street Name	Direction	Lot Frontage	Allowable Signage
Veterans Parkway	West	332 feet	664 square feet
Heritage Drive	South	526 feet	1052 square feet

South Draxler Drive	East	332 feet	664 square feet
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Proposed Signage

The following is a summary of all of the proposed for the new Kwik Trip site.

#	Location/ Façade	Style	Illuminated	Area	Display	Exceptions
1	East	Wall	Internal	14	"Kwik Trip"	No
2	West	Wall	Internal	14	"Kwik Trip"	No
3	South	Canopy	Internal	25	"Kwik Trip"	No
4	East	Canopy	Internal	25	"Kwik Trip"	No
5	East	Canopy (Diesel)	Internal	35	"Diesel Enter"	No
6	East	Canopy (Diesel) Fuel	Internal	17.5	"DEF"	Yes
7	West	Canopy (Diesel)	Internal	29.5	"Diesel Exit"	No
8	South Access	Directional	None	8	"Auto Gas"	No
9	North Access	Directional	None	8	"Diesel Entrance"	No
10	Internal	Directional	None	4.5	"Truck Exit"	No
11	Internal	Directional	None	4.5	"Truck Exit"	No
12	Draxler Dr	Pylon, Fuel, & EMC	Internal	154	"Kwik Trip"	Yes
13	Veterans Pkwy	Highway & Fuel	Internal	312	"Kwik Trip"	Yes
14	CAT Scale	Pylon	Internal	107.5	"CAT Scale"	Yes
Total Sign Area:				749.5 (excluding 2 internal directional)		

Requested Exceptions

The following is a list of the requested exceptions for this Master Sign Plan pertaining to the individual signs that are listed above.

Draxler Drive Pylon Sign #12

Under Section 24-03(19) of the City Sign Code, a pylon sign is allowed up to a maximum area of 100 square feet not including the fuel signs. If the fuel signs are removed this proposed sign is 102 square feet which is over the allowance by 2 square feet. While fuel signs are not counted toward the overall sign area allowance they are limited to 10 square feet per sign type with a maximum total area of 40 square feet (4 fuel types) per Section 24-03(8). Kwik Trip is proposing three fuel types totaling 52 square feet or 17.33 square feet each which is over each individual allowance by 7.33 feet or a total of 22 square feet.

Highway Sign #13

Under Section 24-03(10) of the City Sign Code, a highway sign must be located within 100 feet of U.S. Highway 10 right-of-way, the maximum height is 40 feet, the maximum area is 150 square feet not including the fuel signs, the fuel signs are limited to a maximum of 20 square feet per fuel type with a maximum of 4 types (Section 24-03(8)), and the sign must be setback a minimum of 15 feet from any property line. This proposed highway sign is located approximately 1,200 feet from the U.S. Highway 10 right-of-way, a 1,000 foot exception. The proposed highway sign reaches heights of 60 feet tall, a 20 foot height exception. The total area of the proposed highway sign, not including the fuel signs is 200 square feet, which is 50 square feet over the allowance. Each proposed fuel sign is 56 square feet in area which is over each individual

allowance of by 36 square feet or a total of 72 square feet for the two fuel signs. Lastly, the proposed sign location is setback approximately 12 feet from the south property line which is 3 feet within the required 15 setback.

CAT Scale Pylon Sign #14

Section 24-03(19) of the City Sign Code only allows up to one freestanding sign per lot (not including highway signs or directional signs) at a maximum area of 100 square feet. While this sign is located internally, it is large enough to be legible and visible from the rights-of-way. This sign would be the second proposed freestanding sign and it too exceeds the maximum allowance of 100 square feet by 7.5 square feet in area. In addition because of the location straddling the scale this sign does not have a proposed 3 foot landscape area which is also required for all freestanding signs.

Diesel Canopy "Fuel" Sign #6 – Diesel Exhaust Fluid

While this sign could possibly be viewed as just being internal and is not necessarily a fuel specifically but a fluid product which has a variable price, Section 24-03(8) states that a fuel sign must be a maximum area of 10 square feet per type of fuel. The proposed sign is 17.5 square feet which is 7.5 feet larger than the allowable fuel sign.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions or conditions the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

Staff recommends approval of the Master Sign Plan request by Cindy Bluske representing Kwik Trip for new site signage excluding the highway sign located at 4000 South Draxler Drive (Parcel 33-07393) zoned "CMU" Community Mixed Use with the following conditions/exceptions:

1. All of proposed signage, excluding the highway sign is allowed as presented with exceptions to:
 - a. Draxler Drive Pylon Sign #12 – exceeding the maximum sign area and exceeding the maximum size allowance for individual fuel signs.
 - b. CAT Scale Sign #14 – second freestanding sign, exceeding the maximum sign area and no landscape area.
 - c. DEF "Fuel" Sign #6 – exceeding maximum size allowance for individual fuel sign.
2. A third freestanding sign is permitted to replace the highway sign provided this sign is monument style sign and meets all of the monument sign requirements found under Section 24-03(13).
3. Minor site changes may be administratively approved provided no additional exceptions are needed including the option to swap the two freestanding "Kwik Trip" signs.

Attachments

1. Application
2. Location Map
3. Kwik Trip Sign Package

Concurrence:



Jason Angell
Director of Development Services

April 22, 2016

City of Marshfield
Attn. Sam Schroeder - Development Services
630 South Central Avenue
6th Floor, Suite 602
Marshfield, WI 54449

Sign Permit Application for Kwik Trip #142 on Draxel Dr:

Kwik Trip is planning a new convenience store/fuel station at this location. We would like to permit the signs they are requesting for this site. Please see the enclosed. Also, please call to discuss any other information that may be needed. We will send in the check on Monday, but wanted to verify the amount owed.

If you have questions or concerns please call Cindy Bluske (see contact information below).

*Thank you,
Cindy Bluske*

*La Crosse Sign Co.
1450 Oak Forest Drive
Onalaska, WI 54650
Ph: 608-781-1450
Fax: 608-781-1451
cindyb@lacrossesign.com*



Development Services Department
 City of Marshfield
 630 South Central Avenue
 6th Floor, Suite 602
 Marshfield, WI 54449
 Telephone: 715-486-2077
 Fax: 715-384-7631
 Email: Sam.Schroeder@ci.marshfield.wi.us

Master Sign Plan Application

- Master Sign Permit: \$150.00, plus
 \$50.00 for each individual sign permit
 Master Sign Permit w/ exception(s):
 \$300.00, plus \$50.00 for each individual sign permit

Date: Apr 22, 2016

Sign Location: Draxler Dr 4000 S Draxler Dr Business Name: Kwik Trip
 Business Contact Person: Ryan Roberts

Applicant/Owner: Kwik Trip Inc.
 Mailing Address: 1626 Oak St / PO Box 2107 La Crosse, WI 54602
 Phone: 608-793-5913 Email: rroberts@kwiktrip.com (applicant - cindyb@lacrossesign.com)

Sign Contractor: La Crosse Sign Co. Contact Person: Cindy Bluske
 Mailing Address: 1450 Oak Forest Dr. Onalaska, WI 54650
 Phone: 608-781-1450 Email: cindyb@lacrossesign.com
 Sign Company UL File Number: Ref E100822

- Electrical Signs (must be UL listed):**
- New Electrical Installation
 - Extend Existing Electrical
 - No Alterations to Existing Electrical
- (Licensed Electrician/
Electrical Permit Needed)

Electrical Contractor: TBD by Kwik Trip
 Address: _____
 City: _____
 State: _____ Zip Code: _____ Ph: _____

Office Use Only: Electrical Inspector Approval: _____ Date: _____

Allowable Signage:

Street Name	Direction (N, S, E, W)	Lot Frontage (feet)	Allowable Signage
	N		* 2 sq. ft. = _____
<u>Heritage Dr</u>	S	<u>525.99'</u>	* 2 sq. ft. = <u>1051.98 sq. ft.</u>
<u>Draxel Dr.</u>	E	<u>332'</u>	* 2 sq. ft. = <u>664 sq. ft.</u>
<u>Hwy 13</u>	W	<u>332'</u>	* 2 sq. ft. = <u>664 sq. ft.</u>
Total Allowable Signage =			_____

Office Use Only:
 Use: Commercial - In Vehicle Sales Zoning District: CMU Downtown Design Corridor: Yes No
 Adjacent to a Residential Zoning District: Yes No Which facades: _____
 Meet the Max 10% per Facade: Yes No Corner lot: Yes No Permitted: Yes No
 Permit No.(s): #1 _____ #5 _____ #9 _____
 #2 _____ #6 _____ #10 _____
 #3 _____ #7 _____ #11 _____
 #4 _____ #8 _____ #12 _____
 Date Received: 4/22/16 Total Permit Fee: \$300 + \$50/sign Receipt No.: _____
 Zoning Administrator Approval: _____ Date: _____

Existing & Proposed Sign Information

Freestanding Sign(s):

A	Location (street / other)	Type (new / existing)	Style (pole / monument)	Area (sq. ft.)	Height (ft.) (to sign top)	Setback (ft.)	Display (message)
1	Draxler Dr	new	pole (sign #12)	141.9	24'	10' x 22'	Kwik Trip, fuel prices, EMC
2	Highway	new	pole (sign #13)	302.41	60'	21' x 44'	Kwik Trip, fuel prices, CAT scl

Electronic Message Center: Yes No Area (sq. ft.)= 29.15 Changeable Copy Sign Yes No Area (sq. ft.)=

3 North new pole (sign #14) 109.5 21'4.5" CAT Sealed, Con. F. Sealed, Enter (to sign center)

Building Sign(s) Facade 1:

Facade Direction: East Facade Ht: 21'3" Facade W: 96'8" x 10% = sqft. Allowable Signage

B	Type (new / existing)	Style (Wall, Projecting, etc)	Sign Dimensions (Ht x W)	Area (sq. ft.)	Illuminated (Yes/No)	Sign Cost	Height (ft.) (to sign top)	Display (message)
1	new	wall (sign #1)	2' x 12' 3.625"	24.6	yes	\$1200	14'	Kwik Trip
2	new	canopy (sign #4)	2' x 12' 3.625"	24.36	yes	\$1200	17'	Kwik Trip
3	new	canopy (sign #5)	2' x 17' 6"	35	yes	\$1800	17'	Diesel Enter
4	new	canopy (sign #6)	3'6" x 5'	17.5	yes	\$1250	18'	DEF, price

TOTAL AREA FOR FACADE 1: 101.46

Building Sign(s) Facade 2:

Facade Direction: West Facade Ht: 21'3" Facade W: 96'8" x 10% = sqft. Allowable Signage

C	Type (new / existing)	Style (Wall, Projecting, etc)	Sign Dimensions (Ht x W)	Area (sq. ft.)	Illuminated (Yes/No)	Sign Cost	Height (ft.) (to sign top)	Display (message)
1	new	wall (sign #2)	2' x 12' 3.625"	24.6	yes	\$1200	14'	Kwik Trip
2	new	canopy (sign #7)	2' x 14' 8"	29.33	yes	\$1600	17'	Diesel Exit
3								
4								

TOTAL AREA FOR FACADE 2: 53.93

Building Sign(s) Facade 3:

Facade Direction: North Facade Ht: Facade W: x 10% = sqft. Allowable Signage

D	Type (new / existing)	Style (Wall, Projecting, etc)	Sign Dimensions (Ht x W)	Area (sq. ft.)	Illuminated (Yes/No)	Sign Cost	Height (ft.) (to sign top)	Display (message)
1								
2								
3								
4								

TOTAL AREA FOR FACADE 3:

Building Sign(s) Facade 4:

Facade Direction: South Facade Ht: 21'3" Facade W: 48' x 10% = sqft. Allowable Signage

E	Type (new / existing)	Style (Wall, Projecting, etc)	Sign Dimensions (Ht x W)	Area (sq. ft.)	Illuminated (Yes/No)	Sign Cost	Height (ft.) (to sign top)	Display (message)
1	new	canopy (sign #3)	2' x 12' 3.625"	24.6	yes	\$1200	17'	Kwik Trip
2								
3								
4								

TOTAL AREA FOR FACADE 4: 24.6

Directional / Informational Sign(s)

F	Location (street / other)	Type (new / existing)	Style (pole / monument)	Area (sq. ft.)	Height (ft.) (to sign top)	Setback (ft.)	Display (message)	
1	SE access drive	new	pole (sign #8)	8	5'		Auto Gas/Truck Diesel, arrows	
2	NE access drive	new	pole (sign #9)	8	5'		Diesel Entrance, arrows	
3	NW internal	new	pole (sign #10)	4.5	4' 6"		Truck Exit, arrow	
				TOTAL SIGN AREA: 20.5 + 4.5				
4	SW (internal)	new	pole (sign #4)	4.5	4' 6"		Truck Exit, arrow	
Value of New Sign(s)								
Sign (A1,B1,etc.)	A1 \$51,000	A2 115,000	A3 \$12,000	B1 \$1200	B2 \$1200	B3 \$1800	B4 \$1250	C1 \$1200
Value	C2 \$1600	E1 \$1200	F1 \$600	F2 \$600	F3 \$450	F4 \$450		

Sign Summary

Sign Type:	Freestanding	Building Sign	Directional / Info	Grand Total Sign Area
Total Area (sq. ft.):	473.46 + 107.5	+ 179.99	+ 20.5 + 4.5	= 785.95 - 673.95

Sign Plan Submittal Requirements:

- SIGN PLANS with the following information:
 - Detailed, dimensioned color drawing(s) of all proposed signs including: height, sq. area, text/copy, materials & colors;
 - Photos & dimensions of existing signs on parcel including: height, dimensions, sq. area and note if existing sign to remain;
 - Illumination details including type, placement, intensity and hours of illumination, and area to be illuminated.
- BUILDING ELEVATION DRAWINGS:
 - All sides of buildings with proposed and existing attached signage including label of façade direction (north, south, east, west), height & dimensions of facade, colors and materials. (Color rendering of each façade with signage may be required.)
- SITE PLAN with the following information:
 - An accurate plot plan of the entire lot on which the use will be located at a scale of not less than one inch to 100 feet;
 - Location of buildings, parking lots, driveways, and landscaped areas on the lot;
 - An accurate, dimensioned location on the site plan of all freestanding (including directional) signs proposed and existing (indicate whether to be removed) showing compliance with required setbacks as measured from property line and any required vision triangles from street or driveway intersections;
 - Location of all attached signs, proposed and existing (indicate whether to be removed).

Authorization of Application

I hereby certify that I am the owner or authorized representative of the owner of the property described in this application; that this property constitutes the property for which a Master Sign Plan has been submitted; that the information submitted is complete and accurate to be best of my knowledge; that site visits to the property are necessary by City representatives in order to process this application and the owner authorizes City representatives to visit and photograph the property if necessary; that I understand this is not a permit but only an application for a permit and that work is not to start without a permit.

Applicant Signature: Cindy Bluske Cindy Bluske Date: 4/22/2016

***** IF REQUESTING AN EXCEPTION TO THE SIGN STANDARDS PLEASE INCLUDE ATTACHMENT A WITH YOUR APPLICATION.**

ATTACHMENT A

Written Submittal Requirements (See Section 24-11)

Signage proposed as part of a Master Sign Plan may deviate from the sign standards if there are unusual site factors, which preclude an allowed sign from being visible to the street immediately in front of the site, an adjustment may be granted to achieve visibility standards. Site difficulties may include the sign face being blocked due to topography of the site, elevation of the street, setback of existing development or landscaping. The adjustment must be minimal, have no negative impact on neighboring properties, will not lead to over proliferation of signs, and must not create any safety or traffic hazards.

Describe the requested exception(s).

Exception to allow 3 freestanding signs of various sizes, 3rd sign would be CAT Scale sign.

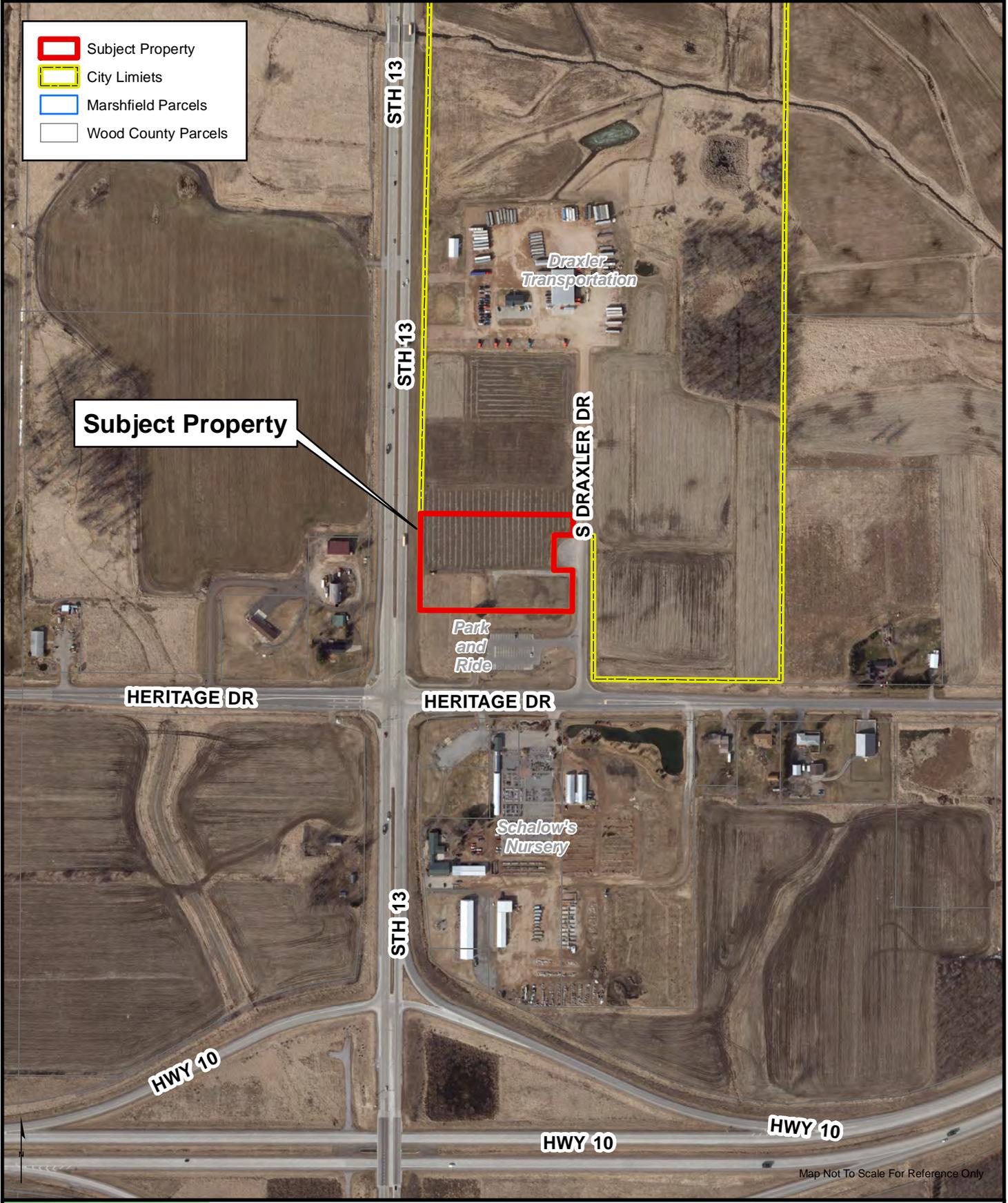
Exception to allow high rise sign (#13 on site plan) to be farther than 100' from US Hwy 10.

Exception to allow more signage/square footage and sign height than allowed by code.

Is the sign prohibited at the proposed location, but permitted elsewhere in the community? (see sign allowance under the specific sign type in Section 24-03 of the Sign Code)

Other comments:

Sign plan does not show, but landscaping plan will show that there will be at least a 3' landscaped area around all pole signs.

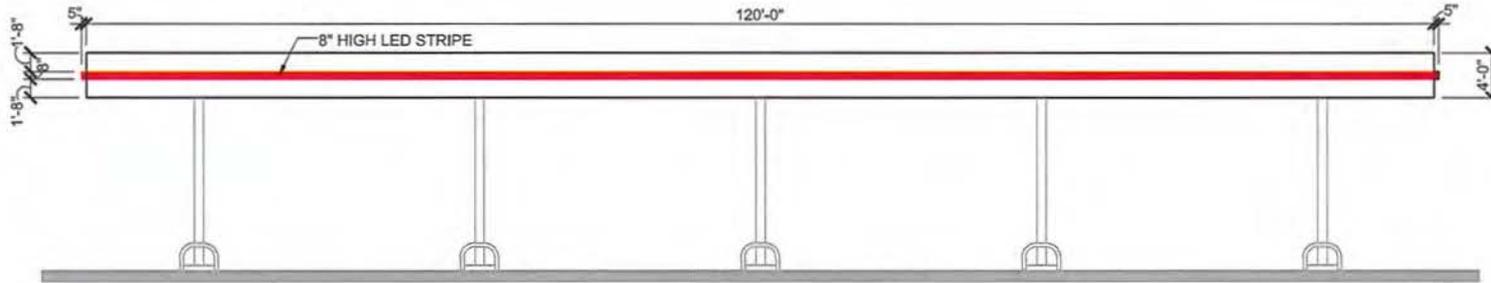


Map Not To Scale For Reference Only



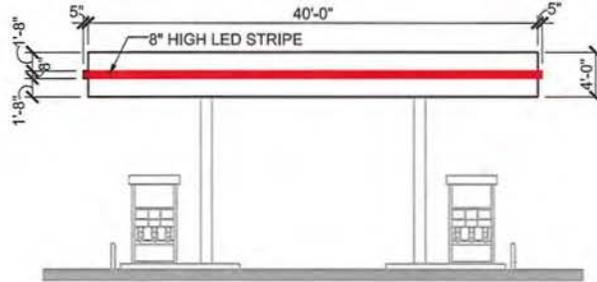
MSGN - Kwik Trip - 4000 S Draxler Dr
City of Marshfield - Plan Commission
Meeting Date: May 17, 2016

ATTENTION: The representation of data presented herein is intended for reference purposes only; the City of Marshfield assumes no responsibility for the accuracy of the information provided. Any duplication without consent is prohibited.



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"

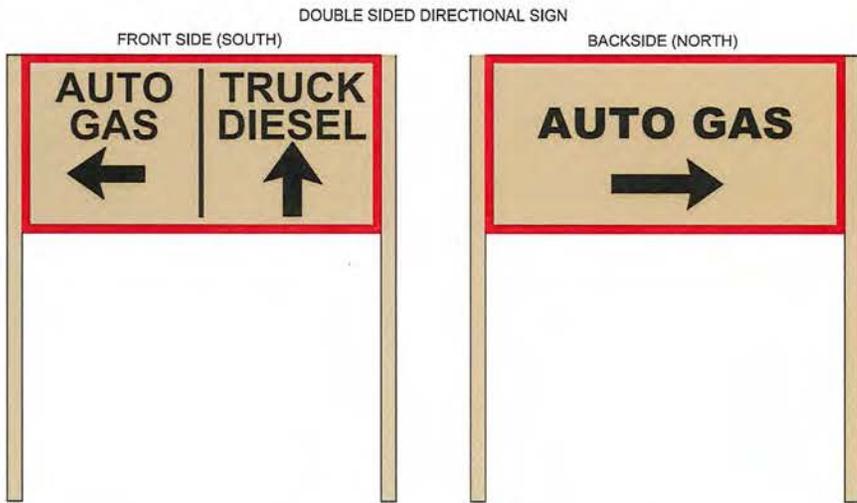


KWIK TRIP, Inc.
 P.O. BOX 2107
 1626 DAK STREET
 LA CROSSE, WI 54602-2107
 PH. (608) 781-8988
 FAX (608) 781-8960

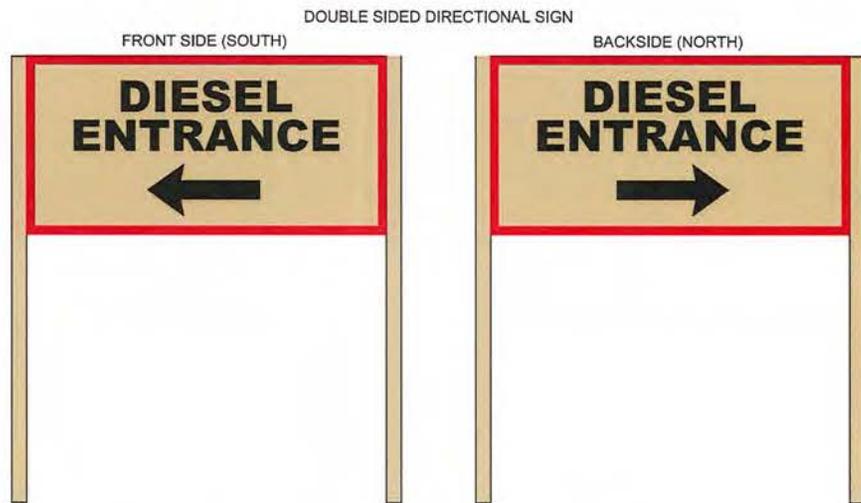
CANOPY SIGNAGE
 CONVENIENCE STORE #142
 WITH SIDE DIESEL
 DRAXLER DRIVE
 MARSHFIELD, WI

NO.	DATE	DESCRIPTION
1	2016-06-27	REVISION 01

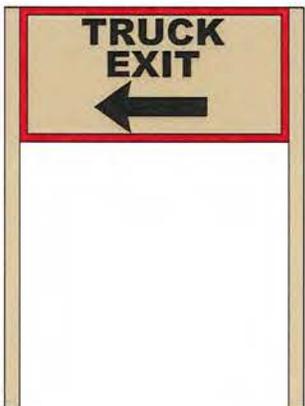
DESIGNED BY	S. BERG
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2016-05-28
SHEET	CA2



DIRECTIONAL SIGN #08
 NON-LIT DIRECTIONAL SIGN
 RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
 2'-0"H X 4'-0"W X 5'-0"T= 8 SQ FT
 SCALE: 3/4" = 1'-0"



DIRECTIONAL SIGN #09
 NON-LIT DIRECTIONAL SIGN
 RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
 2'-0"H X 4'-0"W X 5'-0"T= 8 SQ FT
 SCALE: 3/4" = 1'-0"



DIRECTIONAL SIGN #10
 NON-LIT DIRECTIONAL SIGN
 RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
 1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #10
 SCALE: 3/4" = 1'-0"



DIRECTIONAL SIGN #11
 NON-LIT DIRECTIONAL SIGN
 RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
 1'-6"H X 3'-0"W X 4'-6"T= 4.50 SQ FT

DIRECTIONAL SIGN #11
 SCALE: 3/4" = 1'-0"



STORES



STORES

KWIK TRIP, Inc.
 P.O. BOX 2107
 1628 OAK STREET
 LA CROSSE, WI 54602-2107
 PH. (608) 781-8988
 FAX (608) 781-8960

DIRECTIONAL SIGNAGE

CONVENIENCE STORE #142
 WITH SIDE DIESEL
 DRAXLER DRIVE
 MARSHFIELD, WI

#	DATE	DESCRIPTION
1	2016-04-27	REVISION 01

DESIGNED BY	R. BERG
SCALE	MULTIPLE
DRAWING NO.	0001
DATE	2016-03-09
SHEET	DS1

#12 KWIK TRIP FREESTANDING PYLON SIGN

SEE ATTACHMENT FROM LA CROSSE SIGN CO

#13 KWIK TRIP FREESTANDING HIGH RISE SIGN

SEE ATTACHMENT FROM LA CROSSE SIGN CO

#14 CAT SCALE SIGN

SEE ATTACHMENT FROM CAT



STORES



STORES

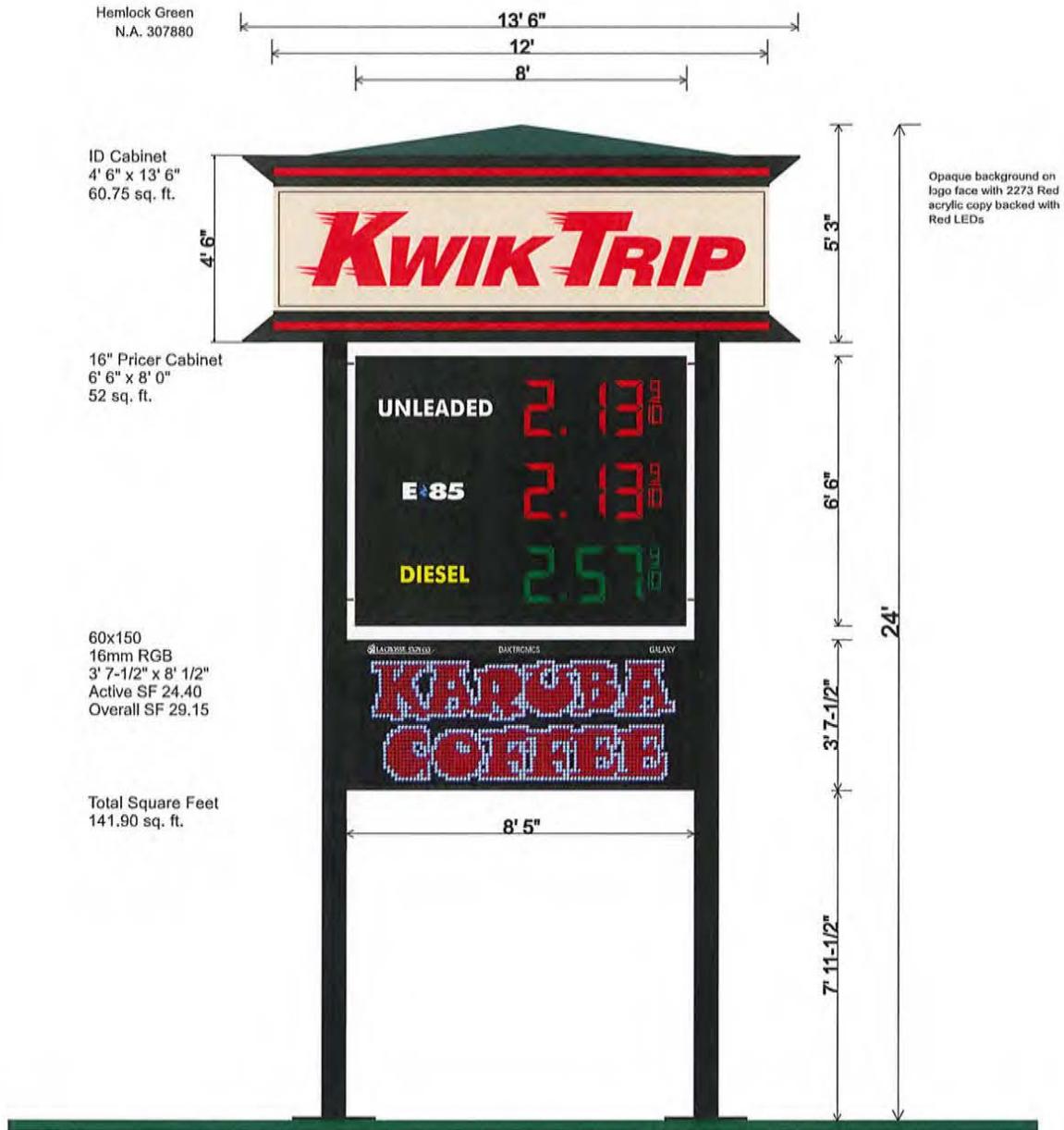
KWIK TRIP, Inc.
P.O. BOX 2107
1926 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8980



DIRECTIONAL SIGNAGE
CONVENIENCE STORE #142
WITH SIDE DIESEL
DRAXLER DRIVE
MARSHFIELD, WI

#	DATE	DESCRIPTION
1	2016-04-27	REVISION 01

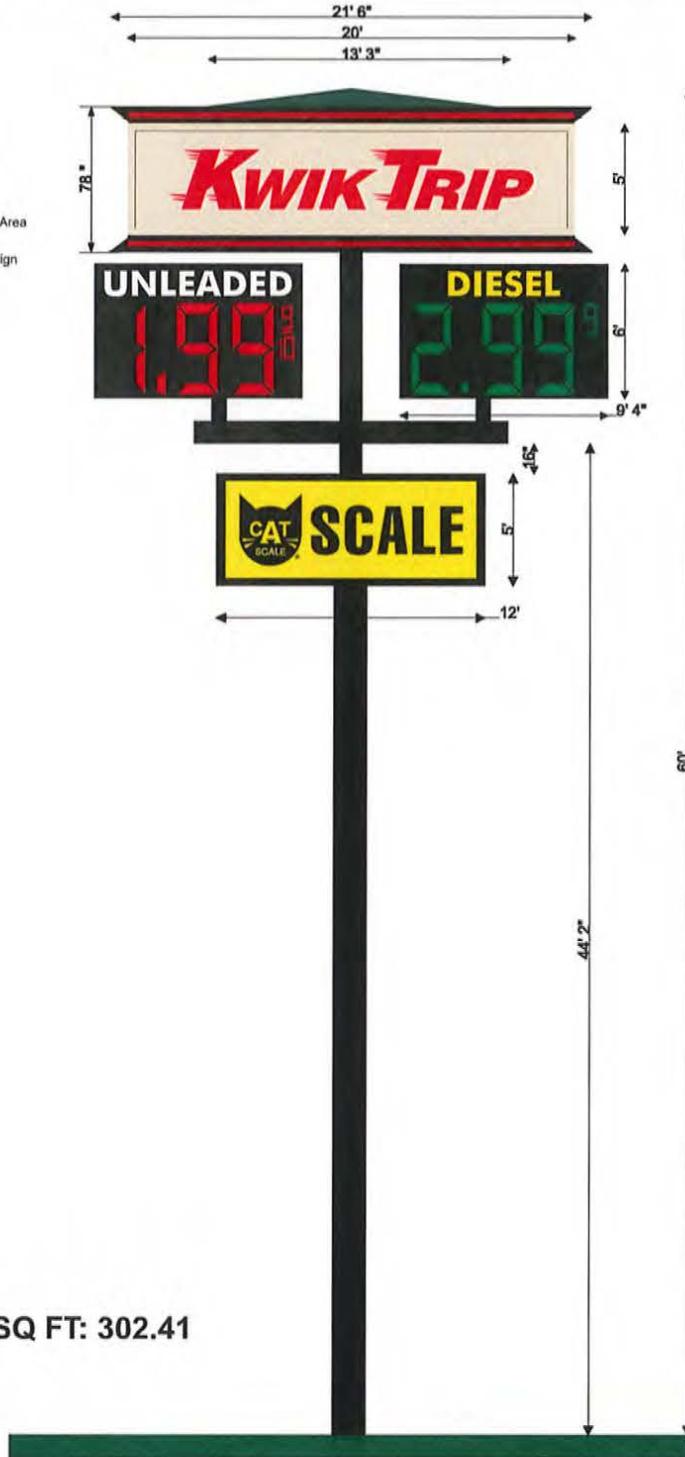
DRAWN BY: B. BECO
 SCALE: MULTIPLE
 PROJ. NO.: 2016-03-08
 DATE: 2016-03-08
 SHEET: DS2



Kwik Trip

#142 Marshfield, WI

- 139.75 sq. ft. I.D. Panel area
- 48" Pricers 51.33 sq. ft. each 102.66 Total Pricer Area
- 60 sq. ft. Scale Illuminated Sign



TOTAL SQ FT: 302.41

LA CROSSE SIGN CO.
MAKE A STATEMENT

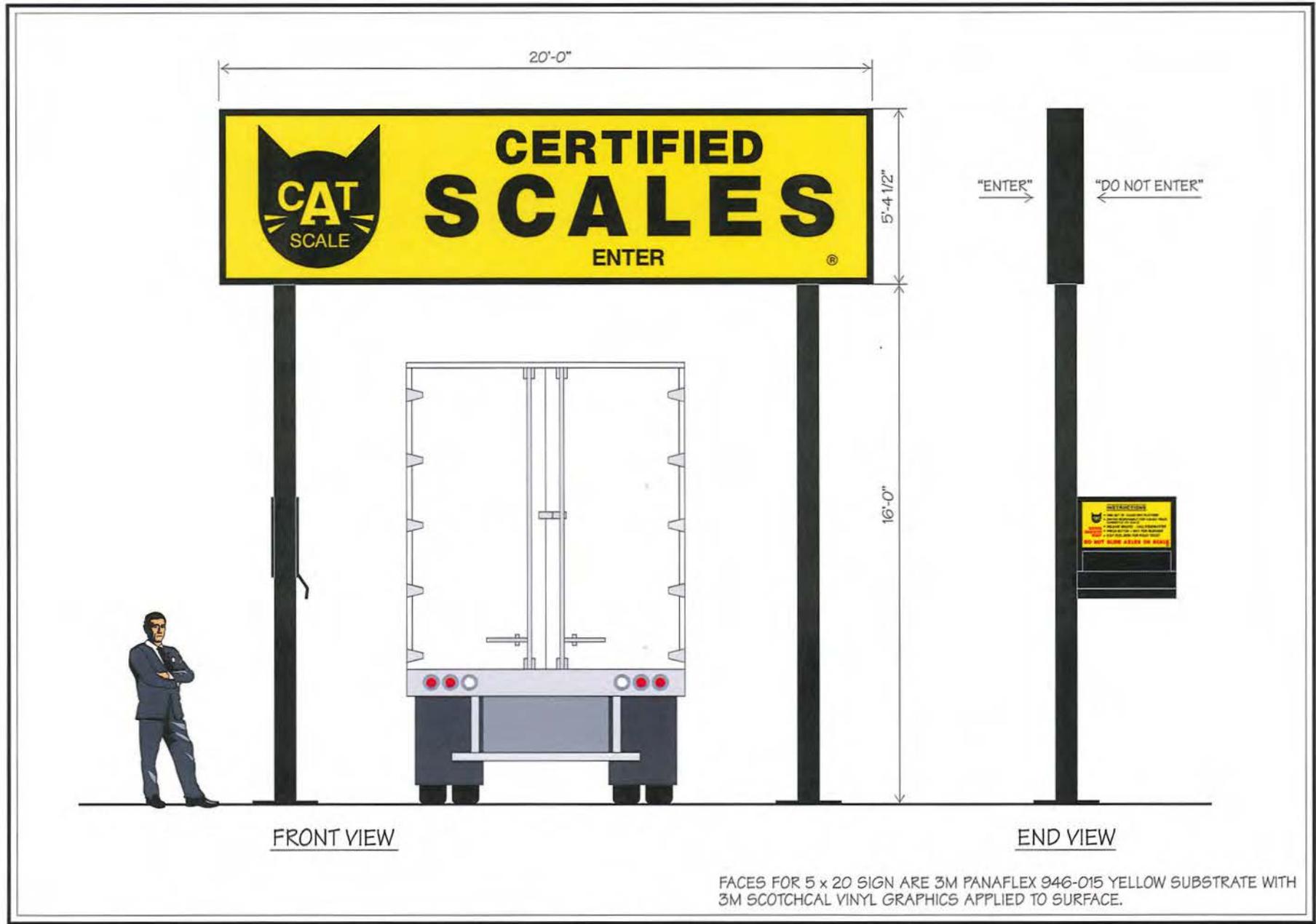
Date: 4/21/2016
Artist: Danielle Waas
Order # 90073
Sales: Cindy Bluske
Scale: 1/8"=1'

Kwik Trip\Marshfield, WI 142\Design\142 Marshfield Art 90073 High Rise

© Copyrighted Artwork

This artwork is copyrighted and may not be otherwise used without permission. It is the property of La Crosse Sign Co., Inc., and must be returned to them.

APPROVED BY: _____





City of Marshfield Memorandum

TO: Plan Commission
FROM: Sam Schroeder, Zoning Administrator
DATE: May 17, 2016

RE: Municipal Code Amendment Request by the City of Marshfield to update the Fence Standards throughout Section 18-106.

Background

The purpose of this code amendment is to better define existing vague language currently under Section 18-106, Fencing Standards, as well as allow greater flexibility to a code that staff believes is currently too restrictive.

Analysis

The following is a brief summary of the recommended changes:

- Include an exception to temporary fencing used for the protection of construction/excavation sites and individual plants.
- Add exception for garden fences over 36" tall provided they are not located in the front yard and are a minimum of 5' from any other lot line.
- Specify what zoning districts are considered residential versus nonresidential.
- Specify what constitutes residential style fencing and what types of fencing is prohibited in residential area: corrugated metal, chicken wire, livestock fencing, barb wire, razor wire, t post, u post, and electrical fencing.
- Allow for fencing to cross property lines when the abutting property is under the same ownership.
- Specify a 3 foot clearance from any utility equipment.
- Allow for a greater fence height of 8 feet for residential property when the property is directly abutting a nonresidential district or a major street.
- Clarify how the heights of fences are measured – measured from the ground or structure immediately under the fence to the top of the fence face.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE the Municipal Code Amendment Request to update Section 18-106, Fencing Standards in Chapter 18, General Zoning Ordinance, to prevent the creation of further nuisances and to promote the general safety and welfare of the public.

Attachments

1. Draft Redline Ordinance Language

Concurrence:



Jason Angell
Director of Development Services



Steve Barg
City Administrator

Section 18-106: Fencing Standards

- (1) Purpose: The purpose of this section is to regulate the materials, location, height, and maintenance of fencing, and decorative posts in order to prevent the creation of nuisances and to promote the general safety and welfare of the public.
- (2) Applicability: ~~The Except for situations where exceptions are explicitly stated in this Chapter, the~~ requirements of this Section apply to all fencing and decorative posts equal to, or exceeding, 36 inches in height, in all zoning districts.
- (3) Review and Approval: ~~All Except for situations where exceptions are explicitly stated in this Chapter,~~ all fences which are equal to or greater than 36 inches in height located in any district shall obtain a building permit ~~from the Building Inspector before commencing construction prior to installation.~~
 - (a) Permit application and site plan. A building permit application for a fence shall consist of a standard building permit application together with a site plan. The site plan ~~must~~ should show abutting streets, lot lines and their dimensions, existing buildings, existing easements, existing utilities, the proposed fence location and proposed setbacks. A drawing or picture of the fence indicating its style and height should, height, and shall also be provided.
 - (b) Exemptions from permit and permit standards.
 1. Temporary Fencing including the protection of excavation and construction sites, the protection of individual plants, and ~~snow-snow fencing~~ fencing which shall be permitted in all districts not exceeding 4 feet in height provided it is removed between May 1 and November 1 of each year.
 2. Decorative fencing, fences encompassing a garden, and other similar fences including pet kennels are exempt from a required permit provided they are not located in the required or provided front yard, are setback a minimum of 5 feet from all property lines, and do not exceed 6 feet in height.
 - (b) Decorative fences and garden fences not exceeding 36 inches in height are exempt provided they do not present a hazard to pedestrians on any public or private sidewalk. Other fences exempt from permits include pet enclosures within the buildable area for the principal structure.
 - (c) Exceptions to the requirements of this ~~section~~ Section may be granted through a conditional use permit.
- (4) Permit Standards:
 - (a) Materials: Materials of any fence or decorative post shall be as follows:
 1. In Residential Districts including SR-2, SR-3, SR-4, SR-6, TR-6, MR-12, MR-24, and MH-8 zoning districts, fences shall be installed/constructed using residential-style fencing.
 - a. Residential-style fencing includes the following: naturally resistant or treated wood, wood composite, brick, stone, masonry, wrought iron, vinyl, galvanized/coated chain link, and wire mesh.
 - b. All fencing shall require a top rail support.
 - c. Any fence within the required or provided front yard, whichever is less shall be a maximum of 50 percent opaque (such as a wrought iron or picket or wood rail fence). On a corner lot where no other location is suitable for a fence, a front yard may be determined by the Zoning Administrator. Chain link fencing is not permitted within the required or provided front yard, except when used in conjunction with parks and schools.

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d. The following are prohibited materials in residential districts unless exempt elsewhere in this Section: corrugated metal, chicken wire, livestock fencing, barb wire, razor wire, "t/u-post", and electric fencing.

2. In all other districts not listed above, fences shall be installed/constructed using residential-style fencing in addition to corrugated metal, other solid metal fences, or security fencing.

a. All fencing shall require a top rail support.

b. Except a security fence, any fence within the required or provided front yard, whichever is less as determined by the Zoning Administrator, shall be a maximum of 50 percent opaque.

c. Barb wire fencing is only permitted on the top of a security fence when located at least 6.5 feet above the ground.

d. The following are prohibited materials in nonresidential districts unless exempt elsewhere in this Section: livestock fencing, "t/u-post", electric fence, and razor wire.

e. Wire fencing, livestock fencing, "t/u-posts", electric fencing and other fencing associated with an agricultural use shall be permitted within the "RH-35" zoning district.

1. Residential fences shall be constructed using residential-style fencing including, but not limited to, naturally resistant or treated wood, brick, natural stone, masonry, wrought iron, vinyl, galvanized and/or coated chain link (minimum thickness of 9 gauge and a required top rail support). Chain link fence slats are subject to provisions of this section regarding open and solid fences.

2. Nonresidential fences shall use the materials listed in Subsection 1., above. Corrugated metal or other solid metal fences may only be used in the CMU, LI, and GI zoning districts.

3. Except of a security fence, any fence within any residential or mixed use within the required or provided front yard, whichever is less restrictive, shall be a maximum of 50 percent opaque (such as a wood or metal picket or wood rail fence), except with the granting of a conditional use permit per Section 18-161.

4. Wire mesh and chain link fencing is not permitted within the required or provided front yard, whichever is less restrictive, in the RH-35, SR-2, SR-3, SR-4, TR-6, MR-12, MR-24, and MH-8 zoning districts, except when used in conjunction with parks, schools, and airports.

5. Barb wire fencing is only permitted on the top of security fencing when located at least 6½ feet above the ground.

6. Temporary fencing, including the use of wood or plastic snow fences for the purposes of limiting snow drifting between November 1 and April 1, protection of excavation and construction sites, and the protection of plants during grading and construction is permitted. Permits are not required for temporary fencing.

(b) Location: The location of any fence or decorative post shall be as follows:

1. On all properties, no fence or decorative post shall be located closer than 3 feet of the right-of-way line in the provided front yard, provided street side yard property line, or when abutting an alley.

2. Fences ~~shall may~~ be located up to a parcel within any property line abutting a side or ~~rear~~ rear yard. Fences may cross property lines when used in conjunction with parks, schools, and airports or when the abutting property is under the same ownership.

3. All fences must meet the visibility standards in Section 18-102.

4. Fences may be located within easements per the provisions of the easement.

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5. Fences shall be located a minimum of 3 feet from any utility equipment. Some utility equipment may require a greater clearance.
5. Replacement of fences existing as of the effective date of this Chapter in their current location shall be permitted.
- (c) Maximum Height: The maximum height of any fence or decorative post shall be the following:
1. In Residential Districts including the SR-2, SR-3, SR-4, SR-6, TR-6, MR-12, MR-24, MH-8 zoning districts:
 - a. Four feet when located within the required front or provided front yard, whichever is closer to the street.
 - b. Six feet within the side, rear, or street side yard, but not in the required front yard or beyond the front facade of the house provided front yard, whichever is closer to the street.
 - c. Eight feet where such portions of a Residential property is directly abutting a nonresidential zoning district or major street for the purpose of increasing privacy or decreasing noise levels, within the side, rear, or street side yard, but not in the required or provided front yard, whichever is closer to the street.
 - b. —
 2. In the NMU, CMU, UMU, DMU, IP, LI, GI, RD, CD, PD all other zoning districts:
 - a. Eight feet when located behind the front façade of the building or required yard, whichever is closer to the street.
 - b. Four feet when located in the required or provided front yard or between the front facade of the building, whichever is closer to the street.
 - c. Eight feet for security fences in any yard.
 3. Height shall be measured from the ground or structure immediately under the fence to the top of the fence face.
 4. Height exceptions:
 - a. Decorative posts at a minimum spacing of 24 inches may extend 8 inches above the maximum height. This exception is not allowed for front yard fences.
 - b. To accommodate slopes and/or lawn maintenance, up to 4-6 inches of ground clearance shall be allowed which will not contribute to the measurement of maximum fence height. This exception is not allowed for front yard fences.
 - c. Berms with slopes less than or equal to a minimum of 3 feet of horizontal to a maximum of every 1 foot of vertical (i.e. 3:1) shall not contribute to the measurement of maximum fence height.
- (d) On Fence Lighting: On fence lighting is permitted and shall conform to all requirements of Section 18-104 as well as the State electrical and building codes.
- (e) Orientation: Any and all fences or decorative posts shall be erected so as to locate visible supports and other structural components toward the subject property.
- (f) Replacement: Any existing fence as of the effective date of this Chapter may be replaced to their current location and height.
- (g) Maintenance:
1. Any and all fences or decorative posts shall be maintained in a structurally sound and attractive manner.

~~(f)~~2. Any utility equipment located within a fence shall be safe and accessible. If the metering location becomes unsafe or inaccessible, the owner shall be required to remove the fence or have the utility equipment moved at the owner's expense.

~~(g)~~(h) Swimming Pools: Fencing for swimming pools shall be provided per the Model Swimming Pool Enclosure Code established by the National Spa and Pool Institute (NSPI).

Figure 18-106(a): Fencing Standards

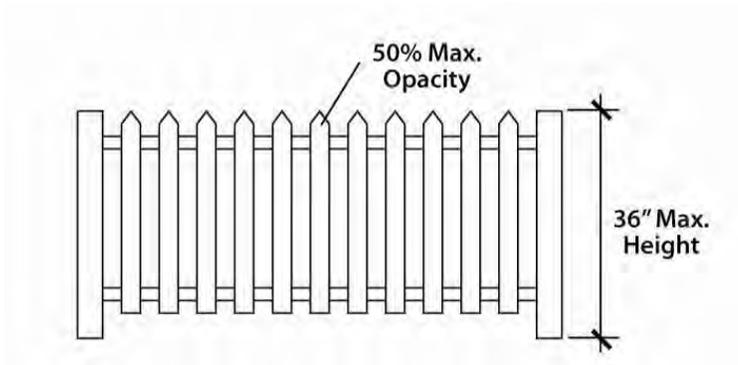


Figure 18-106(b): Fencing Standards

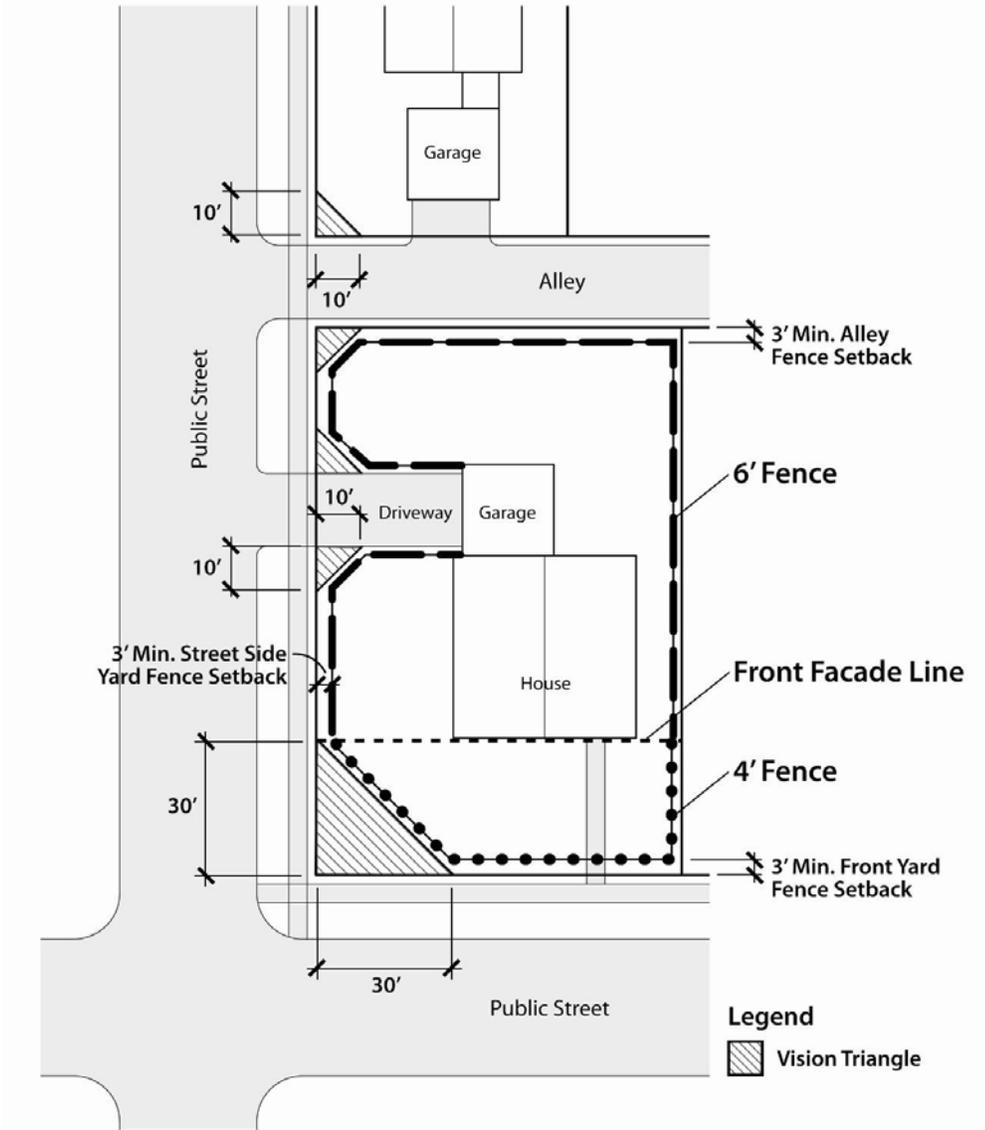
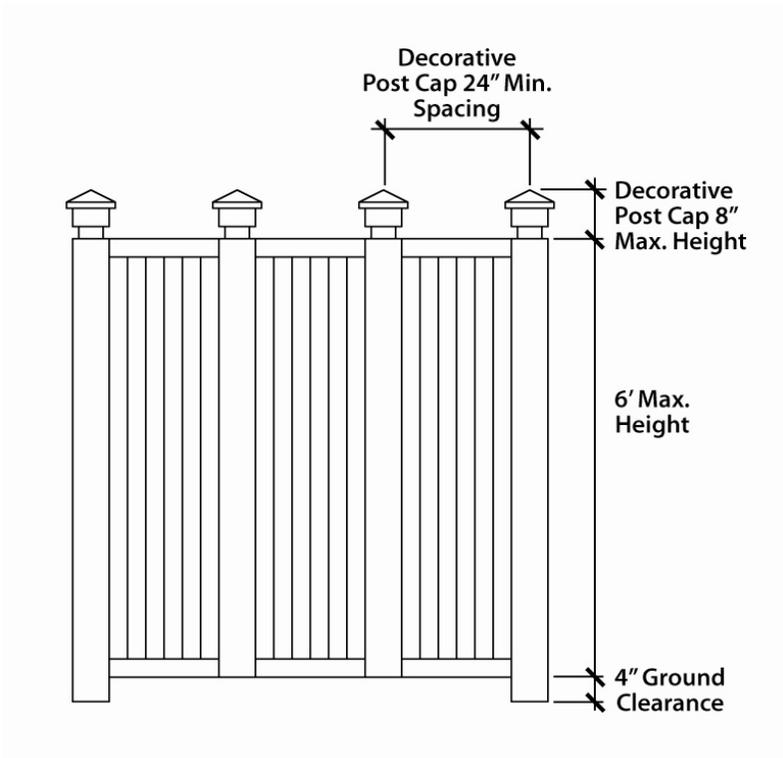


Figure 18-106(c): Fencing Standards



(ORD 1240, 11/13/12)



City of Marshfield Memorandum

TO: Plan Commission
FROM: Sam Schroeder, Zoning Administrator
DATE: May 17, 2016

RE: City of Marshfield New Vision and Mission Statement

Summary

The Common Council is seeking feedback from the various committees, commission and boards in reference to the new City of Marshfield Vision and Mission Statement that was a result of the Common Council's strategic planning sessions. After feedback has been compiled from these various groups, the Council will look to adopt the new Vision and Mission Statement which will guide the future development of the City of Marshfield. The following are the proposed new vision and mission statements:

Vision: We will be a city of diverse interests and values through advancement of policies and allocation of resources that promote innovative, sustainable growth and enterprises while recognizing the heritage and culture of the region.

Mission: It is the mission of the City of Marshfield to provide a fiscally-sound, family-oriented community with a full range of housing, business, cultural, educational, and recreational opportunities in a safe environment for residents and visitors.

Recommendation

Per the discretion of the Plan Commission