



CITY OF MARSHFIELD

MEETING NOTICE

PLAN COMMISSION

City of Marshfield, Wisconsin

Tuesday, June 21, 2016

Council Chambers Lower Level, City Hall Plaza

7:00 p.m.

1. Call to Order. – Mayor Meyer – Chairperson.
2. Roll Call. – Secretary Knoeck.
3. Approval of Minutes. – May 17, 2016 Meeting.
4. Citizen Comments.
5. Conditional Use Request by Kim Christianson to allow the construction of a large accessory building exceeding the footprint of the principal single family dwelling unit, zoned "SR-6" Single Family Residential, located at 200 North Pine Avenue (Parcel 33-00699).
Presenter: Josh Miller, City Planner
Public Hearing Required
6. Conditional Use Request by the University Commission: UW-Marshfield/Wood County to allow the building addition of a Large Scale Indoor Institutional Use within property zoned "CD" Campus Development zoning district prior to the adoption of a Campus Master Plan, located at 2000 West 5th Street (Parcel 33-05037). As part of the request, the Applicant is proposing to relocate an existing freestanding monument sign in a "CD" Campus Development zoning district.
Presenter: Josh Miller, City Planner
Public Hearing Required
7. Conditional Use Request by the Marshfield School District to allow the exterior addition of a Large Scale Indoor Institutional Use for an outdoor learning center adjacent to Washington Elementary School within property zoned "SR-4" Single Family Residential, located at 1112 West 11th Street (Parcel 33-03362A).
Presenter: Josh Miller, City Planner
Public Hearing Required
8. Conditional Use Request by the Central Wisconsin State Fair to allow the construction of a new accessory building which will include temporary stables for horses within property zoned "CD" Campus Development zoning district prior to the adoption of a Campus Master Plan, located at 311-315 East 17th Street (Parcel 33-03462).
Presenter: Sam Schroeder, Zoning Administrator
Public Hearing Required
9. Municipal Code Amendment Request to amend Chapter 18, General Zoning Ordinance, Section 18-12 and 18-65(7) amending the definitions of an accessory building, referencing the Wisconsin Uniform Dwelling Code to determine the separation requirements between a detached accessory building and a dwelling unit, and to clarify the setback requirements for a garage on a corner lot.
Presenter: Sam Schroeder, Zoning Administrator
Public Hearing Required

**PLAN COMMISSION
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10. Municipal Code Amendment Request to amend Chapter 18, General Zoning Ordinance, 18-156(7), amending the required votes by the Zoning Board of Appeals to reverse any order, requirements, decision, or determination for a requested appeal from four concurring votes to a majority vote of members present.

Presenter: Sam Schroeder, Zoning Administrator

Public Hearing Required

11. Discussion of Highway Sign Regulations.

Presenter: Sam Schroeder, Zoning Administrator

12. Items for Future Agendas.

13. Staff Updates.

a. Comprehensive Plan Update.

14. Adjourn.

Posted this 16th day of June, 2016 by 4:00 PM by Josh Miller, City Planner

For additional information regarding items on the agenda, please contact Jason Angell, Director of Development Services at 715.486.2074 or Josh Miller, City Planner at 715.486.2075.

NOTE

It is possible that members of and possibly a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact Mary Anderson, Public Works Department at 630 South Central Avenue or by calling (715) 387-8424.

**CITY PLAN COMMISSION
MARSHFIELD, WISCONSIN
MINUTES OF MAY 17, 2016**

Meeting called to order by Secretary Knoeck at 7:00 PM in the Council Chambers of City Hall Plaza.

PRESENT: Mayor Meyer (arrived at 7:15 PM); Ed Wager, John Kaprelian, Bill Penker, & Ken Wood

EXCUSED: Joe Gustafson

ABSENT: None

ALSO PRESENT: Director of Public Works Knoeck; Development Services Director Angell; City Planner Miller; Zoning Administrator Schroeder; Joe Dolezal – The Boson Company; the media and others.

PC16-17 Motion by Wood, second by Wagner to recommend approval of the minutes of the April 19, 2016 City Plan Commission meeting.

Motion Carried

Commissioner Penker nominated Commissioner Wagner for Vice-Chairman of the City Plan Commission.

PC16-18 Motion by Wood, second by Penker to close nominations and elect Commissioner Wagner as Vice-Chairman of the City Plan Commission.

Motion Carried

Commissioner Wagner took the chair.

Citizen Comments: None

PUBLIC HEARING - Conditional Use Request by Marcus Zettler, on behalf of Our Lady of Peace Parish Columbus High School, amending the site plan of a “Large Scale Indoor Institutional Use” in the “SR-2” Single Family Residential district, to allow a new addition on the south end of the existing high school building, including a reconfiguration of the existing parking lot and adding an access driveway on to West 8th Street, located at 710 South Columbus Avenue (Parcel 33-03354A).

COMMENTS: None

PC16-19 Motion by Penker, second by Wood to recommend approval of the Conditional Use Request by Marcus Zettler, on behalf of Our Lady of Peace Parish Columbus High School, amending the site plan of a “Large Scale Indoor Institutional Use” in the “SR-2” Single Family Residential district, to allow a new addition on the south end of the existing high school building, including a reconfiguration of the existing parking lot and adding an access driveway on to West 8th Street, located at 710 South Columbus Avenue (Parcel 33-03354A), subject to the following:

1. The site plan for the building, parking and outdoor classroom are approved, allowing minor modifications to be approved administratively.
2. If exterior lighting is proposed for the project, a lighting plan, in compliance with the Zoning Code, shall be submitted to the City for staff to review and approve administratively.

Motion Carried

The Conditional Use Request by Shannon Schnitzler, on behalf of Christopher and Lindsey Bishop, to permit a 4-bed Adult Family Home, “Community Living Arrangement” use in the “SR-2” Single Family Residential district, with plans to construct an addition in the backyard and expand to an 8-bed Community Based Residential Facility in the future was withdrawn prior to the meeting.

Ryan Roberts, representing Kwik Trip, 1626 Oak Street, LaCrosse, WI, wanted to point out that the site is geared toward highway traffic which is professional drivers, tractor trailer, etc. Their sign package is geared to guide the truck traffic to their site and on the site. Because of geographic location of the site to the highway, they feel a high-rise sign is needed to bring in highway traffic. The current code is pretty restrictive. The highway sign is of significant importance to the site. He is asking the Plan Commission to consider the full sign package that has been requested, including the highway sign.

PC16-20 Motion by Wood, to recommend approval of the Master Sign Plan Request by Cindy Bluske, representing Kwik Trip for new signage for their proposed new site at 4000 South Draxler Drive zoned “CMU” Community Mixed Use with exceptions as follows (Parcel 33-07393):

1. All of proposed signage, excluding the highway sign is allowed as presented with exceptions to:
 - a. Draxler Drive Pylon Sign #12 – exceeding the maximum sign area and exceeding the maximum size allowance for individual fuel signs.
 - b. CAT Scale Sign #14 – second freestanding sign, exceeding the maximum sign area and no landscape area.
 - c. DEF “Fuel” sign #6 – exceeding maximum size allowance for individual fuel sign.
2. A third freestanding sign is permitted to replace the highway sign provided this sign is monument style sign and meets all of the monument sign requirements found under Section 24-03(13).
3. Minor site changes may be administratively approved provided no additional exceptions are needed including the option to swap the two freestanding “Kwik Trip” signs.

Motion Dies for Lack of Second

PC16-21 Motion by Wagner, second by Penker to recommend approval of the Master Sign Plan Request by Cindy Bluske, representing Kwik Trip with high rise signs for their proposed new site at 4000 South Draxler Drive zoned “CMU” Community Mixed Use with exceptions as follows (Parcel 33-07393) and direct staff to come back with possible changes to the Sign Code that would allow highway signs in this area.

1. All of proposed signage, including the highway sign is allowed as presented with exceptions to:
 - a. Draxler Drive Pylon Sign #12 – exceeding the maximum sign area and exceeding the maximum size allowance for individual fuel signs.
 - b. CAT Scale Sign #14 – second freestanding sign, exceeding the maximum sign area and no landscape area.
 - c. DEF “Fuel” Sign #6 – exceeding maximum size allowance for individual fuel sign.
 - d. Highway Sign #13 – exceeding the maximum sign area, exceeding the maximum sign height allowance, within the minimum required setback and exceeding the maximum size allowance for individual fuel signs.
2. A third freestanding sign is permitted to replace the highway sign provided this sign is monument style sign and meets all of the monument sign requirements found under Section 24-03(13).
3. Minor site changes may be administratively approved provided no additional exceptions are needed.

Motion Carried

PUBLIC HEARING - Municipal Code Amendment Request to update the City of Marshfield Fence Standards throughout Section 18-106.

COMMENTS: None

PC16-22 Motion by Wood, second by Penker to recommend approval of Municipal Code Amendment Request to update Section 18-106, Fencing Standards in Chapter 18, General Zoning Ordinance, to prevent the creation of further nuisances and to promote the general safety and welfare of the public, and request an ordinance be drafted for Common Council consideration.

Motion Carried

Zoning Administrator Schroeder reviewed the City's draft Mission and Vision Statement which is being developed as part of the Common Council Strategic Planning Process. Penker had concerns about the definition of "sustainable growth" – are we looking at growth sustainable by the finite ability of the taxpayers to support that, the finite resources of the City or in terms of an environmental context? Penker also questioned intent of heritage and culture – how is this defined and how will all this be communicated to the public? Communication is not addressed in either the vision or mission statement.

Kaprelian is concerned with the phrase "heritage and culture of region" and feels that the way it is written, it could be construed as a hindrance to achieving some of the other goals outlined, which was not likely the intent.

Commissioner Wagner nominated Commissioner Penker to the Historic Preservation Committee.

PC16-23 Motion by Meyer, second by Wagner to recommend the appointment of Commissioner Penker to the Historic Preservation Committee.

Motion Carried

Commissioner Wagner nominated Commissioner Kaprelian to serve on the City of Marshfield – Town of McMillan Joint Plan Commission.

PC16-24 Motion by Meyer, second by Wagner to recommend the appointment of Commissioner Kaprelian to serve on the City of Marshfield – Town of McMillan Joint Plan Commission.

Motion Carried

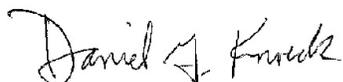
Items for Future Agendas:

- Possible sign code change for highway signs.

Staff Updates:

- City Planner Miller gave an update on the Comprehensive Plan process.

There being no objections, the Mayor adjourned the meeting at 8:03 PM



**Daniel G. Knoeck, Secretary
CITY PLAN COMMISSION**



City of Marshfield Memorandum

TO: Plan Commission
FROM: Josh Miller, City Planner
DATE: June 21, 2016

RE: Conditional Use Request by Kim Christianson to allow the construction of a large accessory building exceeding the footprint of the principal single family dwelling unit, zoned "SR-6" Single Family Residential, located at 200 North Pine Avenue (Parcel 33-00699).

Background

Kim Christianson is proposing to construct a 24' by 38' (912 square feet) detached residential garage. The existing garage is currently too small to serve the Applicant's needs. The proposed garage would replace the existing garage and the Applicant has requested to move the existing garage to the north to use it for storage space. The roof on the existing garage is in need of repair. Dimensions for the existing garage are 12' x 20' (240 square feet). The total proposed accessory storage space is 1,152 square feet. The conditional use request is to exceed the maximum structure allowance for a residential accessory building of the footprint of the ground floor area of the house (768 square feet). In addition to the house, there are two covered porches that total 160 square feet. Since the porches are not enclosed, they are not counted towards the total footprint of the home.

The property is a corner lot, measures 44' wide and 154' deep (6,776 square feet), and does meet the minimum lot size standards for the "SR-6" single family residential zoning district. Property owners are allowed up to 40% of building lot coverage in the "SR-6" district. With the proposed garage space, the building lot coverage would be just over 28%.

Analysis

According to Section 18-65(8) of the Municipal Zoning Code the total area of all residential accessory buildings on a single property shall not exceed the ground floor area of the principal building used for residence or up to 1,200 square feet of total gross ground floor area, whichever is more restrictive. Any exceptions to these requirements must be approved through a conditional use.

The proposed accessory storage area is 1,152 square feet which is still 48 square feet below the 1,200 square foot limit maximum size allowance but over

the current ground floor area of the principal building by 366 square feet. This is almost another 50% over the current footprint of the house.

As mentioned in the background, the house footprint is only 768 square feet. In addition to the house, there are two covered porches that total 160 square feet. Since the porches are not enclosed, they are not counted towards the total footprint of the home. Even though it cannot be included in the calculation administratively, the covered porch area does add to the scale of the home and could be a factor when granting approval for a request to exceed the accessory storage space allowance. An additional 160 square feet added to the 768 square foot area of the home would total 928 square feet.

Staff feels keeping the existing garage while adding a 912 square foot garage would seem excessive for the footprint of the house and the size of the lot. Therefore, staff is recommending allowing the new garage, but capping the total accessory space at 1,008 square feet. This would allow the garage to be slightly larger or allow a small additional storage space for lawn equipment and snow removal. Capping it at 1,008 would also allow some flexibility in how the Applicant proceeds with the project. She could build the garage at 24' x 42' and have no additional building, shrink the proposed garage to 24' x 32' and keep the existing garage, or building the garage as proposed at 24' x 38' and add a small storage shed.

Setbacks for the proposed garage would be approximately 6 feet from the attached porch, 3 feet from the west property line, and 17 feet from the Pine Avenue right-of-way. The proposed rear yard setback is approximately 54 feet. Setbacks from the porch and the rear of the house would have some flexibility to go either way based on zoning regulations. Because the lot is only 44 feet wide, the setback to the east and west are already maximized. If the existing garage is kept, it would be required to meet the east and west setbacks (17 feet and 3 feet respectively), and would be allowed a minimum setback of 5 feet to the rear yard property line to the north.

The Applicant would also add storage space in the garage up above. Accessory buildings are permitted a height limit of 20 feet or the maximum height of the principal building, whichever is less. Because the principal structure is two stories, there should be ample room for desired storage space and still meet the height limit for an accessory storage building of the "SR-6" zoning district.

Currently, the driveway is approximately two stalls wide and with the addition of the new garage, the driveway would be widened to accommodate the additional garage stall. Any driveway addition would also be required to be hard surfaced. Building materials similar in style to the principal building such as siding and windows would be incorporated into the new garage.

Conditional Use Decision Criteria of 18-161(6)(c):

(a) The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

1. Is in harmony with the recommendations of the Comprehensive Plan.

One of the preferred design concepts in the Comprehensive Plan was to limit the appearance of garages in residential neighborhoods. Because the house is on a corner lot, the garage would be very visible. However, the house is two stories and would allow for more indoor storage of equipment and other items and staff does not feel the larger garage would be out of place in the neighborhood, nor would the recommendation conflict with the comprehensive plan.

2. Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.

The proposed garage will improve the overall look of the property, increasing the amount of interior storage space and decrease the amount of exterior storage and gravel that can be problematic to the storm sewer system.

3. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The proposed garage maintains the existing land use, but increases the overall lot coverage, decreasing the open space on the property. The existing principal building and proposed garage do not exceed the maximum lot coverage percentage.

4. The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

The existing property will not require any additional services, but the driveway may be widened to the north to accommodate the wider garage.

5. The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into

consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

There will be no adverse impact to the City.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE the Conditional Use Request by Kim Christianson based on the information presented and the conditional use criteria being met, to allow the construction of a large accessory building exceeding the footprint of the principal single family dwelling unit, zoned "SR-6" Single Family Residential, located at 200 North Pine Avenue (Parcel 33-00699) as presented with the following conditions:

1. Total accessory structure footprint area is limited to 1,008 square feet.
2. Construction of the garage must commence within two years of approval.
3. The garage must be constructed of similar building materials and visual appearance as the principal structure located on premise.
4. Any expansion to the driveway must be hard-surfaced within one year of the completion of the garage.
5. Final approval shall be contingent on the approval of a building permit.
6. Minor site changes and building details may be administratively approved as long as the changes do not result in development becoming non-compliant with this conditional use permit or other zoning code requirements.

Attachments

1. Application
2. Location Map
3. Site Plan

Concurrence:



Jason Angell
Planning and Economic Development Director



MARSHFIELD

The City in the Center

Revised: 1/1/16

Development Services Department

City of Marshfield
630 South Central Avenue
6th Floor, Suite 602
Marshfield, WI 54449

Ph: 715-486-2077 Fax: 715-384-7631

Email: Sam.Schroeder@ci.marshfield.wi.us

Conditional Use Permit Application

Fee: \$250.00

Today's Date: May 18, 2016

OFFICE USE ONLY

Form with fields: Date Received (5-18-16), Fee Receipt Number (59082), Zoning District, Parcel # (3300699)

SITE INFORMATION

Form with fields: Site Address (200 N. Pine Ave), Present Land Use (Residential), Legal Description (C-MFLD LOT 9 BLK 43), 1-family 160

APPLICANT INFORMATION

Form with fields: Applicant Name (Kim Christianson), Address (200 N. Pine Ave, Marshfield, WI 54449), The Applicant is the Owner

OWNER INFORMATION (IF DIFFERENT THAN APPLICANT INFORMATION)

Form with fields: Owner Name, Owner Phone #, Owner Email Address, Owner Address, City, State, Zip

DETAIL OF CONDITIONAL USE REQUEST

Form with fields: Proposed Land Use (1-family 160), Number of Buildings (1), Narrative of Conditional Use Request (Build a new garage with the total accessory space of including existing garage to exceed the footprint of the house), Future Plans/Modifications (pouring cement this year/building garage next year)

CODE REQUIREMENT REFERENCES (ZONING CODE - CHAPTER 18)

Form with checkboxes for Setback Requirements, Parking Requirements, Lighting, Storage, and Parking Standards, Landscape Requirements

DOCUMENTATION SUBMITTED

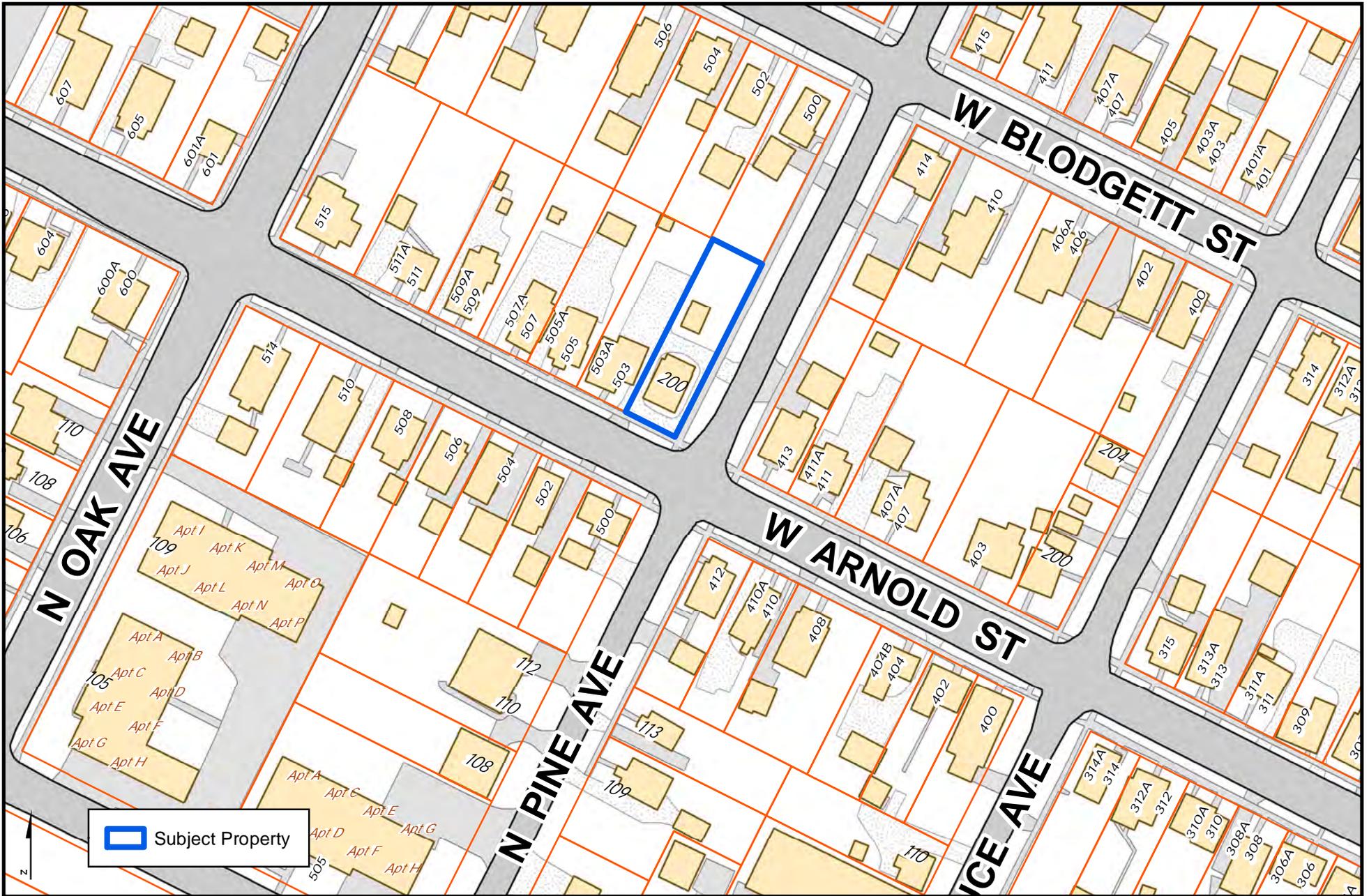
Form with checkboxes for Site Plan, Landscape Plan, Lighting Plan, Survey, Photographs, Other

Required documentation must be submitted to the Planning & Economic Development Department in order for the application to be placed on the Plan Commission meeting agenda.

I hereby apply for a conditional use permit, and I acknowledge that the information above is complete and accurate; that the work will be in conformance with the ordinances and codes of the City of Marshfield and with Wisconsin Statutes and Building Codes;

Applicant Signature: Kim Christianson

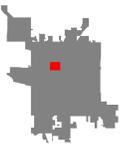
Date: May 18, 2016



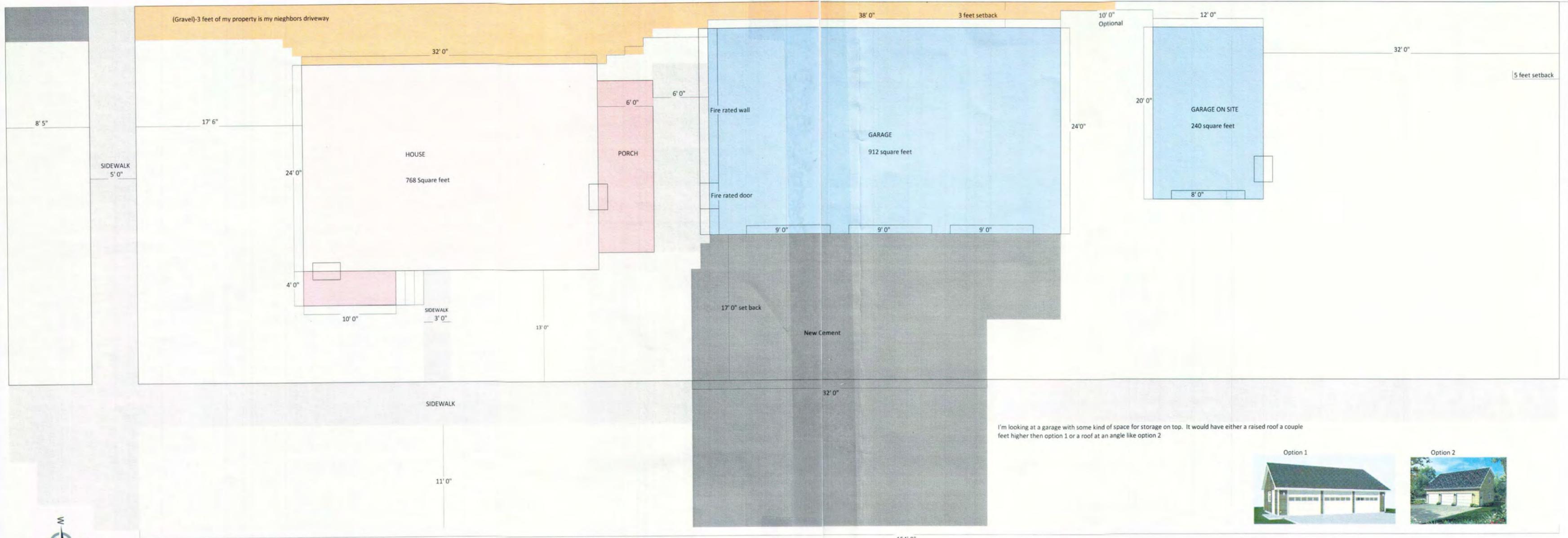
CUP - Large Accessory Structure - Kim Christianson
City of Marshfield - Plan Commission
Meeting Date: June 21, 2016

Map Not To Scale
 For Reference Only

ATTENTION: The representation of data presented herein is intended for reference purposes only; the City of Marshfield assumes no responsibility for the accuracy of the information provided. Any duplication without consent is prohibited.



Arnold Street



Pine Avenue

Parcel Number: 3300699 Legal Description: C-MFLD LOT 9 BLK 43

200 N Pine Ave

154' 0"

Set backs:
 3 feet from neighbors property
 17 feet from sidewalk to beginning of garage
 5 feet from building to north edge of property

I'm looking at a garage with some kind of space for storage on top. It would have either a raised roof a couple feet higher than option 1 or a roof at an angle like option 2



Square footage of buildings equal 1152 square feet
 Total square footage of house and buildings equal .2833530106257379 or 28% of 6776 square feet



City of Marshfield Memorandum

TO: Plan Commission
FROM: Josh Miller, City Planner
DATE: June 21, 2016

RE: Conditional Use Request by the University Commission: UW-Marshfield/Wood County to allow the building addition of a Large Scale Indoor Institutional Use, including a parking lot addition and an outdoor courtyard area, within property zoned "CD" Campus Development zoning district prior to the adoption of a Campus Master Plan, located at 2000 West 5th Street (Parcel 33-05037).

Background

The University Commission: UW-Marshfield/Wood County is proposing a new Science Technology Engineering Math (STEM) building addition. The property is zoned "SR-4" Single Family Residential. The University falls under the category of a "Large Scale Indoor Institutional" use having more than 10,000 total gross square feet, and it is new development within the "CD" Campus Development district, requiring a Conditional Use Permit whenever the site plan is modified or the building is added to when that modification is considered significant or exceeds 1,200 square feet in area.

Analysis

The project consists of constructing a two-story, 18,000 square foot building addition to the UW-Marshfield/Wood County campus. The addition, with a footprint of 9,500 square feet, will be located on the north side of the campus, between the existing buildings and 5th Street, with a two story connection to the existing Leopold Building. The project also includes 6,040 square feet of new pavement, consisting of a proposed drop-off loop with additional handicap and visitor parking. An outdoor courtyard area will also be developed between the new addition and the exiting campus buildings.

The building contains four lab-style classrooms dedicated to chemistry, anatomy, microbiology, and nursing curriculum. Each lab is served by faculty offices, storage, a simulation lab, and prep rooms. The nursing classroom also serves as a flex classroom, for lectures or distance learning programs. There is a large STEM commons which opens onto the courtyard, to be used for events or student study. The corridors have been widened to include space for independent or small group study, and there are first- and second-floor open

student lounges. Service spaces include restrooms, a kitchenette, storage, janitor closets, and mechanical rooms.

Location

The zoning to the north across 5th Street consists of Campus Development as well as Single, Two- and Multi- Family Residential zoning districts (a mix of SR-3, TR-6, MR-12, and CD). Land uses include the Villas student housing, apartments, a church, a duplex and single family homes. To the east is single family residential housing, zoned "SR-2" Single Family Residential. South of the University, and in the same block lies the athletic fields, also zoned "CD". Mid State Technical College is to the west and is also zoned "CD".

Site

The front yard setback for the proposed addition is approximately 90 feet from the 5th Street right-of-way. The next closest property line is to the east with a setback of approximately 340 feet. The addition will be tucked between the W.W. Clark Administration Building and the Helen Connor Laird Fine Arts Building, just north of the Aldo Leopold Science Building, essentially screening all other property lines from the proposed addition. The atrium peak will be approximately 35 feet above grade and the rest of the roof line will be just over 31 feet tall. The Applicant is proposing a possible canopy over the walkway area between the Administration Building and the new STEM Building addition.

Parking

Under the zoning code, parking standards for a college or trade school are based on requiring one stall per staff member on the largest shift, plus one space per two students of the largest class attendance period. For a junior high, the zoning code requires 1 stall per 2 employees. Below is an explanation from the Applicant of the present parking situation on campus:

"The total enrollment is 623 students at 51 staff. However, a lot of those students don't actually travel to campus or are not full time students. Factoring in all telecommuters and part time students, the full-time-equivalent count is about 396 students.

Michelle Boernke at UW Marshfield estimates that the maximum occupancy on any given day would be about 150 students and 40 staff."

Once the proposed project has been constructed, as a campus, UW-Marshfield will have four parking lots that will total 330 parking stalls. Included in this project are two new handicap parking stalls and seven new visitor stalls. Although the proposed plan adds nine new stalls, four existing stalls will need to be removed to accomplish the grading necessary for the project, providing a net gain of only 5 stalls. Based on the University's estimates of the number of students and staff on campus at a given time, the total required on-site parking would be 115 stalls, well below the 330 provided parking stalls.

Landscaping

Street Landscaping

Section 18-133(2) states for every 100 linear feet of street frontage of a development lot abutting a public street, there shall be a minimum of 40 points of landscape plants installed in the "CD" Campus Development District. This development visible from the right-of-way abuts one public street including 220 feet along West 5th Street. Calculating out the minimum landscape requirements this development would be required a minimum of 88 points along West 5th Street. The submitted landscape plan shows approximately 160 points of new landscaping plus 80 points for two existing decorative trees within the right-of-way along West 5th Street for a total of 240 street landscaping points. Although it the plants are not as evenly distributed as we typically like to see due to the existing parking lot location and the location of utilities, 120 of the points would meet the location for street frontage landscape, still meeting this requirement.

Parking Landscaping

Section 18-133(3) states for every 20 off-street parking stalls or 10,000 square feet of parking area including circulation and loading areas, which ever yields the greater requirement (parking stalls) there shall be a minimum of 60 points of landscape plants installed in the "CD" Campus Development District. With 9,101 square feet of paved surface, the minimum required parking landscaping for this development is 55 points. Without calculating the smaller shrubbery or perennial plantings, the submitted plan shows approximately 60 new points which is over the required minimum.

Bufferyard Landscaping

There is no bufferyard required for this development.

Lighting

The lighting will be a combination of wall lighting, parking lot and pedestrian lighting, and bollard decorative lighting. All of the proposed lighting will meet the minimum lighting standards as defined under Section 18-104 including the maximum foot-candles at a property line, the maximum average on-site lighting, the maximum light pole height, and full cutoff or fully shielded luminaries. All lights will be LEDs.

Signage

As part of this application, the Applicant is proposing to move the illuminated monument sign, currently at the main entrance to the campus, to the existing circle drive entrance, northwest of the proposed addition. The sign is 60 square feet in area (4' x 15') and is internally illuminated. According to the sign code, signs in the "CD" Campus Development District, over 50 square feet trigger a master sign plan. However, staff felt because the sign currently exists on site and is simply being relocated, that a master sign plan would not be necessary. One additional exterior sign is proposed above the main entrance. That sign will be 12" cast aluminum letters, attached directly to the building. The total size is 2'2"h x 11'5"w (just under 25 square feet in area) and does not contain lights. That sign, by code, can be administratively approved by staff.

Conditional Use Criteria

The following information is based on the specific requirements outlined in Section 18-161(6) Conditional Use Review Criteria for Plan Commission consideration.

Conditional Use Decision Criteria of 18-161(6)(c):

(c) The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

1. Is in harmony with the recommendations of the Comprehensive Plan.

Staff does not find any conflict with the proposed use and the Comprehensive Plan.

2. Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.

The character of the neighborhood would not change as this is just an extension of the existing university. The number of students and faculty are not expected to change.

3. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The consistency of the land use will not change.

4. The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

The subject property is already adequately served by public services, which supports no change.

5. The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

The purpose of the addition is to improve educational opportunities for the students and staff does not feel the proposal would have an adverse impact at all.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE a Conditional Use Request by the University Commission: UW-Marshfield/Wood County Marshfield School District based on the information presented and the conditional use criteria being met, to allow the building addition of a Large Scale Indoor Institutional Use, including a parking lot addition and an outdoor courtyard area, within property zoned "CD" Campus Development zoning district prior to the adoption of a Campus Master Plan, located at 2000 West 5th Street (Parcel 33-05037) with the following condition:

1. The site plan, landscape plan, and lighting plan for the STEM building is approved as presented, allowing minor site changes and building details to be approved administratively.
2. Any new driveway or parking areas must be hard-surfaced prior to the issuance of a certificate of occupancy.
3. All required landscaping must be installed prior to the issuance of a certificate of occupancy.
4. Final approval shall be contingent on the approval of a building permit.
5. If parking problems are identified as part of normal day to day operations of the facility, the Conditional Use Permit may be reviewed by the Plan Commission to determine if any additional on-site parking will be required.

Attachments

1. Application
2. Location Map
3. Site Plan
4. Landscape Plan
5. Lighting Plan
6. Elevations

Concurrence:



Jason Angell
Director of Development Services



MARSHFIELD

The City in the Center

Revised: 11/13/14

Department of Planning & Economic Development

City of Marshfield
630 South Central Avenue
6th Floor, Suite 602
Marshfield, WI 54449-0727

Ph: 715-486-2077 Fax: 715-384-7631

Email: Sam.Schroeder@ci.marshfield.wi.us

**Conditional Use
Permit Application**

Fee: \$250.00

Today's Date: May 18, 2016

OFFICE USE ONLY

Date Received:	Fee Receipt Number:	Zoning District:	Parcel #:
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SITE INFORMATION

Site Address: 2000 W 5th St	Present Land Use: Government Building/Educational
Legal Description: BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 25 NORTH, RANGE 2 EAST, CITY OF MARSHFIELD, WOOD COUNTY, WISCONSIN.	

APPLICANT INFORMATION

Applicant Name: University Commission-UW Marshfield/ Wood Co.	Phone #: 715-423-0399	Email Address: wcdistrict12@co.wood.wi.us
Address, City, State, Zip: 2000 W. 5th St, Marshfield, WI 54449		
The Applicant is the <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Authorized Representative/Other (Describe):		

OWNER INFORMATION (IF DIFFERENT THAN APPLICANT INFORMATION)

Owner Name:	Owner Phone #:	Owner Email Address:
Owner Address, City, State, Zip:		

DETAIL OF CONDITIONAL USE REQUEST

Proposed Land Use: Same	Proposed # of Employees: Same	Proposed Hours of Operation: Same
<input type="checkbox"/> Residential or <input checked="" type="checkbox"/> Nonresidential	Number of Buildings: addition to existing building	Number of Units: N/A
		Density (units per acre): N/A
Narrative of Conditional Use Request	UW Commission-Wood County is requesting the review of a proposed 2-story, 20,000 s.f. building addition. A new drop off lane and 9 additional visitor parking stalls are also proposed as part of the project, as well as construction of sidewalks and landscaping adjacent to the proposed building addition.	
Future Plans/Modifications:	Time Needed to Finish Request:	

CODE REQUIREMENT REFERENCES (ZONING CODE - CHAPTER 18)

<input checked="" type="checkbox"/> Setback Requirements - Article II: Establishment of Zoning Districts <input checked="" type="checkbox"/> Parking Requirements - Article III: Land Use Regulations <input checked="" type="checkbox"/> Lighting, Storage, and Parking Standards - Article VII: Design and Performance Standards <input checked="" type="checkbox"/> Landscape Requirements - Article VIII: Landscape Requirements

DOCUMENTATION SUBMITTED

<input checked="" type="checkbox"/> Site Plan <input checked="" type="checkbox"/> Landscape Plan <input type="checkbox"/> Lighting Plan <input checked="" type="checkbox"/> Survey <input type="checkbox"/> Photographs <input type="checkbox"/> Other:

Required documentation must be submitted to the Planning & Economic Development Department in order for the application to be placed on the Plan Commission meeting agenda. Although attendance by applicants at the Plan Commission meeting is optional, it is STRONGLY ADVISED that applicants make every effort to attend. Failure to attend can result in the denial or delay of an application due to incomplete information. Fees: the required fee of \$250 shall be submitted with this application, and shall not be refunded should this application be denied.

I hereby apply for a conditional use permit, and I acknowledge that the information above is complete and accurate; that the work will be in conformance with the ordinances and codes of the City of Marshfield and with Wisconsin Statutes and Building Codes; that the Plan Commission may recommend conditions not expressly stated, prior to the meeting, in documentation or by staff, or deny in part or in whole this request; that I understand this form is not in itself a conditional use permit but only an application for one and is valid only with procurement of applicable approvals. The Common Council shall be the final approval authority for the conditional use. In addition, as owner or authorized agent, my signature authorizes the City Staff or their representatives including members of the Plan Commission and Common Council to visit and inspect the property for which this application is being submitted.

Applicant Signature:

[Handwritten Signature]
COMMISSION
CHAIR

Date:

5-24-16

Conditional Use Permit Narrative for **University of Wisconsin - Marshfield/Wood County**

Project Description:

The project consists of constructing a two-story, 18,000 square foot building addition to the UW-Marshfield/Wood County campus. The addition, with a footprint of 9,500 square feet, will be located on the north side of the campus, between the existing buildings and W. 5th Street, with a connection to the existing Leopold Building. The project also includes 6,040 square feet of new pavement, consisting of a proposed drop-off loop with additional handicap and visitor parking.

Building:

The building serves to establish a new main entrance to campus, and provide a strong visual presence from the street. The material palette borrows from the existing campus architecture, but with some contemporary modifications. The programmatic center of the building is clad in tan brick, to match the existing brick color. The circulation spine that bypasses the brick mass is clad in metal panels to match the existing roof peaks, with abundant glass to allow natural daylight in. An alternating rhythm of brick piers and glass façade mimics the existing fenestration pattern on campus. The front door has a strong presence, with a high roof supported by brick piers.

Lighting:

The exterior lighting was designed to follow the City of Marshfield's exterior lighting ordinance as well as incorporating IES recommendations for lighting levels for standard parking lots and pedestrian walkways. These requirements and recommendations were used to place fixtures as well as determine lumen package and distribution within each fixture. The parking lot fixtures were selected to match the existing parking lot to the southwest of the building, as well as being full-cutoff and energy efficient. The pedestrian scale light fixture along the walkways was selected to compliment the architecture of the addition, while being full-cutoff and energy efficient. The bollards at the patio were selected to compliment the architecture while being energy efficient and vandal resistance for the application. The building mounted light fixtures and recessed downlights were selected to blend with the architecture, while being full-cutoff and energy efficient.

Program:

The building contains four lab-style classrooms dedicated to chemistry, anatomy, microbiology, and nursing curriculum. Each lab is served by faculty offices, storage, a simulation lab, and prep rooms. The nursing classroom also serves as a flex classroom, for lectures or distance learning programs. There is a large STEM commons which opens onto the courtyard, to be used for events or student study. The corridors have been widened to include space for independent or small group study, and there are first- and second-floor open student lounges. A bar of service spaces includes restrooms, a kitchenette, storage, janitor closets, and mechanical rooms.

Site Preparation:

The finished first floor elevation of the existing Leopold building was surveyed at an elevation of 1289.82'. There is varying elevation across the site. For example, based on the current topographic information that we have available, the proposed drop-off loop will need to rise roughly ten feet from the existing driveway to reach the floor elevation of the proposed addition. The drive will continue to rise another four feet as it approaches the existing business offices at the northeast end of the building, with a floor elevation of 1293.15. Additional grading is also proposed for stormwater management.

The bulk of the site work will include the removal of existing asphalt pavement, concrete curb and gutter, concrete sidewalk, topsoil and organics, and standard excavation/embankment. It is likely that the asphalt can be recycled and utilized as gravel base for future parking lot areas. Based on geotechnical exploration performed by PSI, Inc. at this site, it is anticipated that the soils encountered during excavation will be clay/silty in nature. This is very typical

for this area. Undocumented fill and unsuitable natural soils were present in samples taken within the proposed building footprint and proposed parking areas. These soils will be removed prior to placement of fill or pavement and foundation structures.

Site Improvements:

Asphalt paved surfaces are anticipated to include a standard 3.5" pavement thickness in general parking areas. Because of the high probability of clay soil, the pavement section will also include a combination of a dense gravel base, breaker run (3" minus crushed stone), and a geotextile fabric soil separator to prevent the fines associated with clay from migrating into the gravel base soils, and causing settlement. It is also recommended that subsurface drainage be installed at low points in the parking lot subgrade, to prevent saturation of the subsoils.

The site landscaping will be designed to meet, or exceed, the City of Marshfield code requirements. Landscaping will be provided, mainly large and medium deciduous trees, in areas along the street frontage and along the front of the proposed parking lot. The proposed landscaping provided along the northern façade of the proposed addition and the bio-retention area plantings will create a welcoming and aesthetically pleasing experience to campus visitors as well as those traveling on the adjacent streets.

Parking:

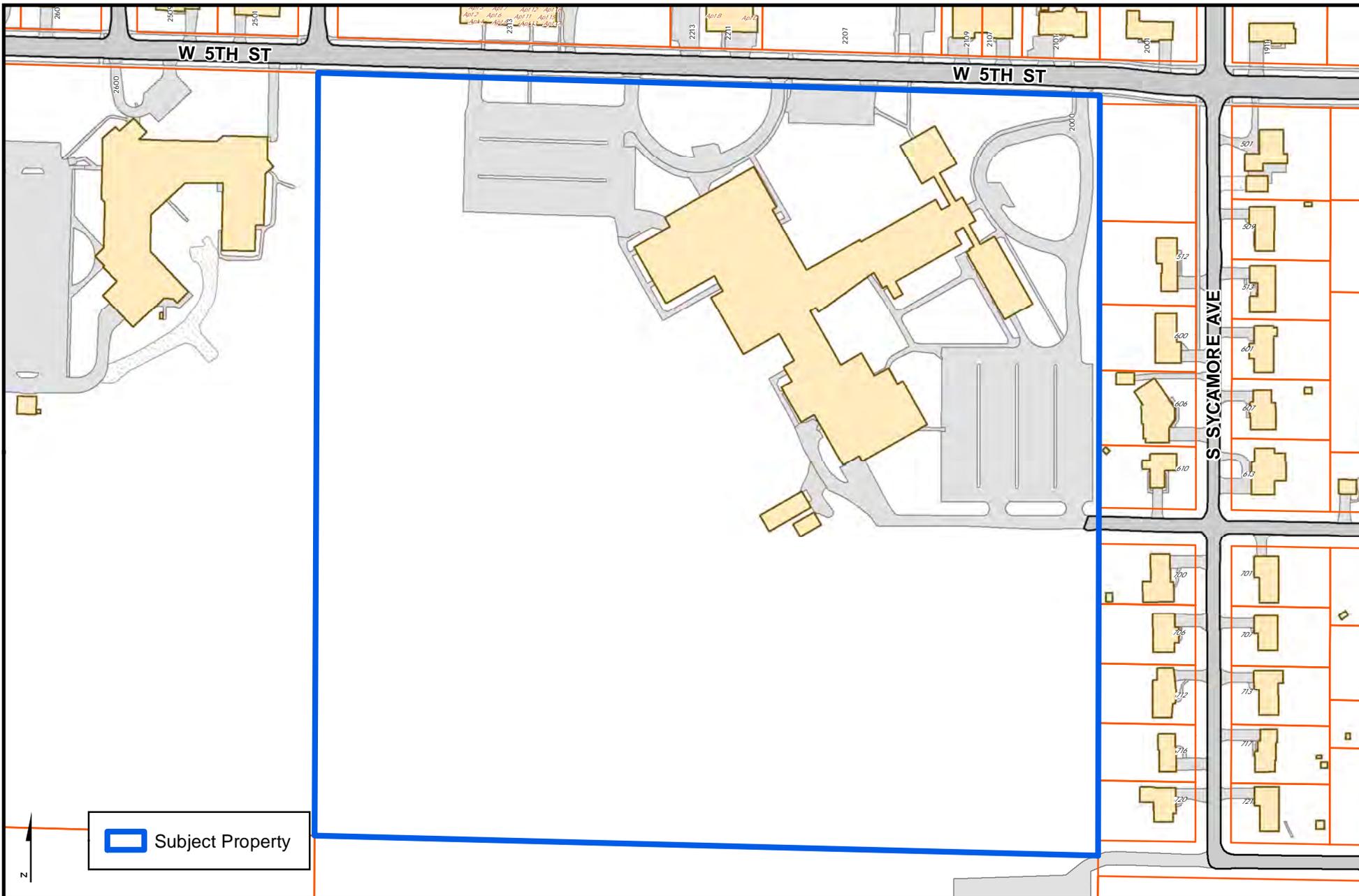
Once the proposed project has been constructed, as a campus, UW-Marshfield will have four parking lots that will total 330 parking stalls. Included in this project are two new handicap parking stalls and seven new visitor stalls. However, four existing stalls will need to be removed to accomplish the grading necessary for the project. Although the total classroom capacity is 837 students, it is unrealistic that all of the classrooms would be occupied simultaneously. UW-Marshfield staff have provided attendance numbers to more closely reflect the actual occupancy of the campus at any one time. The parking exhibit included with this submittal shows that the campus as a whole will have sufficient parking to meet both the demands of the university, and the intent of the City of Marshfield code. The design utilizes existing driveways on the site, and no new connections to public streets are proposed.

Site Utilities:

Municipal water, sanitary sewer, and storm sewer are available within W. 5th Street. New water and sanitary connections are proposed to the municipal utilities directly north of the new building addition. An existing 8" storm sewer lateral, to the northwest of the project area, will be utilized for the stormwater management system. A preliminary utility plan has been included with this submittal, and POB will coordinate with City of Marshfield Staff regarding these connections.

Site Stormwater Management:

State and Local Code requires that stormwater runoff from the redeveloped site be treated for Total Suspended Solids (TSS) removal (Total Suspended Solids are the particles from the parking surfaces that transport pollutants when conveyed by stormwater runoff, and cause damage to downstream waterways), and control the rate at which stormwater runoff is discharged from the project site by implementing measures for stormwater management. Rate control is providing stormwater detention to control the rate at which runoff is discharged from the project site, with the goal of matching, or reducing, the runoff rate, in comparison to existing conditions. To meet these requirements, a bio-retention area (rain garden) is proposed between the new project area and the existing parking lot along W. 5th Street. This basin will provide TSS removal and rate control for the runoff from the parking and drive areas. The bio-retention area will include native plants chosen to enhance both the performance of the system and the aesthetics of the site. Additionally, a dry retention pond will be designed immediately west of the building addition to control runoff rates from the roof and courtyard areas of the building.

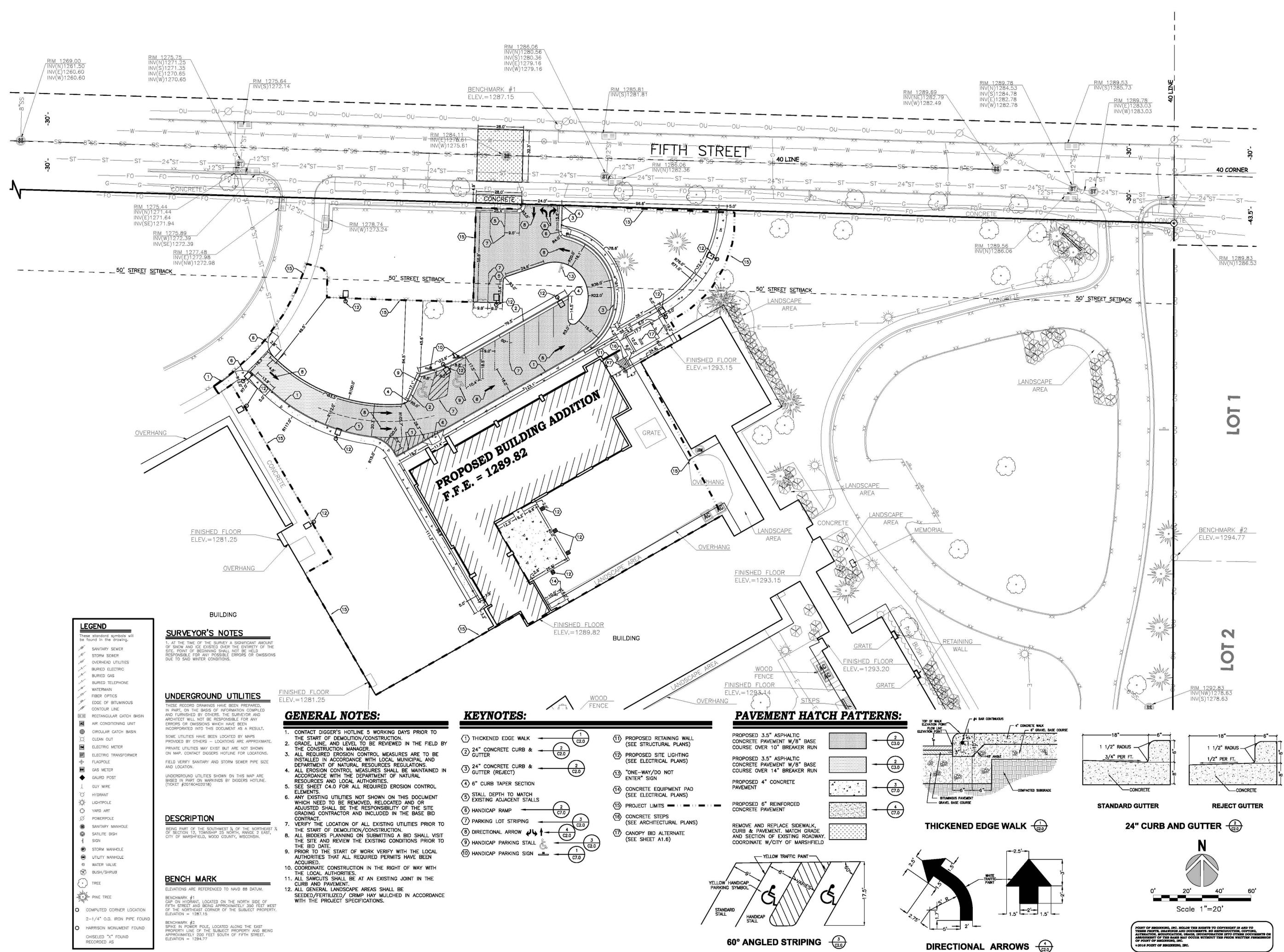


CUP - Large Indoor Institutional Addition - UW-Marshfield
City of Marshfield - Plan Commission
Meeting Date: June 21, 2016

Map Not To Scale
 For Reference Only

ATTENTION: The representation of data presented herein is intended for reference purposes only; the City of Marshfield assumes no responsibility for the accuracy of the information provided. Any duplication without consent is prohibited.





LEGEND
These standard symbols will be found in the drawing.

- SANITARY SEWER
- STORM SEWER
- OVERHEAD UTILITIES
- BURIED ELECTRIC
- BURIED GAS
- BURIED TELEPHONE
- WATERMAIN
- FIBER OPTICS
- EDGE OF BITUMINOUS
- CONTOUR LINE
- RECTANGULAR CATCH BASIN
- AIR CONDITIONING UNIT
- CIRCULAR CATCH BASIN
- CLEAN OUT
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- FLAGPOLE
- GAS METER
- GAUGE POST
- GUY WIRE
- HYDRANT
- LIGHTPOLE
- YARD ART
- POWERPOLE
- SANITARY MANHOLE
- SANITARY DISH
- SIGN
- STORM MANHOLE
- UTILITY MANHOLE
- WATER VALVE
- BUSH/SHRUB
- TREE
- COMPUTED CORNER LOCATION
- 2-1/4" O.D. IRON PIPE FOUND
- HARRISON MONUMENT FOUND
- CHISELED "X" FOUND
- RECORDED AS

SURVEYOR'S NOTES
1. AT THE TIME OF THE SURVEY A SIGNIFICANT AMOUNT OF SNOW AND ICE EXISTED OVER THE ENTIRETY OF THE SITE. POINT OF BEGINNING SHALL NOT BE HELD RESPONSIBLE FOR ANY POSSIBLE ERRORS OR OMISSIONS DUE TO SAID WINTER CONDITIONS.

UNDERGROUND UTILITIES
THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. THE SURVEYOR AND ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.

DESCRIPTION
BEING PART OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 23 NORTH, RANGE 7 EAST, CITY OF MARSHFIELD, WOOD COUNTY, WISCONSIN.

BENCH MARK
ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
BENCHMARK #1
CAP ON HYDRANT, LOCATED ON THE NORTH SIDE OF FIFTH STREET AND BEING APPROXIMATELY 350 FEET WEST OF THE NORTHEAST CORNER OF THE SUBJECT PROPERTY. ELEVATION = 1287.15
BENCHMARK #2
SPIKE IN POWER POLE, LOCATED ALONG THE EAST PROPERTY LINE OF THE SUBJECT PROPERTY AND BEING APPROXIMATELY 200 FEET SOUTH OF FIFTH STREET. ELEVATION = 1294.77

- GENERAL NOTES:**
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
 - GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
 - ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
 - ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND LOCAL AUTHORITIES.
 - SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
 - ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
 - VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
 - ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
 - PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
 - COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
 - ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
 - ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/ CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

- KEYNOTES:**
- THICKENED EDGE WALK
 - 24" CONCRETE CURB & GUTTER
 - 24" CONCRETE CURB & GUTTER (REJECT)
 - 6" CURB TAPER SECTION
 - STALL DEPTH TO MATCH EXISTING ADJACENT STALLS
 - HANDICAP RAMP
 - PARKING LOT STRIPING
 - DIRECTIONAL ARROW
 - HANDICAP PARKING STALL
 - HANDICAP PARKING SIGN
 - PROPOSED RETAINING WALL (SEE STRUCTURAL PLANS)
 - PROPOSED SITE LIGHTING (SEE ELECTRICAL PLANS)
 - "ONE-WAY/DO NOT ENTER" SIGN
 - CONCRETE EQUIPMENT PAD (SEE ELECTRICAL PLANS)
 - PROJECT LIMITS
 - CONCRETE STEPS (SEE ARCHITECTURAL PLANS)
 - CANOPY BID ALTERNATE (SEE SHEET A1.6)

PAVEMENT HATCH PATTERNS:

- PROPOSED 3.5" ASPHALTIC CONCRETE PAVEMENT W/8" BASE COURSE OVER 10" BREAKER RUN
- PROPOSED 3.5" ASPHALTIC CONCRETE PAVEMENT W/8" BASE COURSE OVER 14" BREAKER RUN
- PROPOSED 4" CONCRETE PAVEMENT
- PROPOSED 6" REINFORCED CONCRETE PAVEMENT
- REMOVE AND REPLACE SIDEWALK, CURB & PAVEMENT. MATCH GRADE AND SECTION OF EXISTING ROADWAY. COORDINATE W/CITY OF MARSHFIELD

THICKENED EDGE WALK

24" CURB AND GUTTER

60° ANGLED STRIPING

DIRECTIONAL ARROWS

STANDARD GUTTER

REJECT GUTTER

THICKENED EDGE WALK

24" CURB AND GUTTER

60° ANGLED STRIPING

DIRECTIONAL ARROWS

Scale 1"=20'

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Point of Beginning
Land Surveying
Engineering
Landscape Architecture

5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (PH)
715.344.9922 (FX)



Project Title:
University of Wisconsin - Marshfield/Wood County
Everett Reeth STEM Center
University Commission of U.W. Marshfield/Wood County
2000 W. 5th Street Marshfield, WI
Marshfield, WI 54449

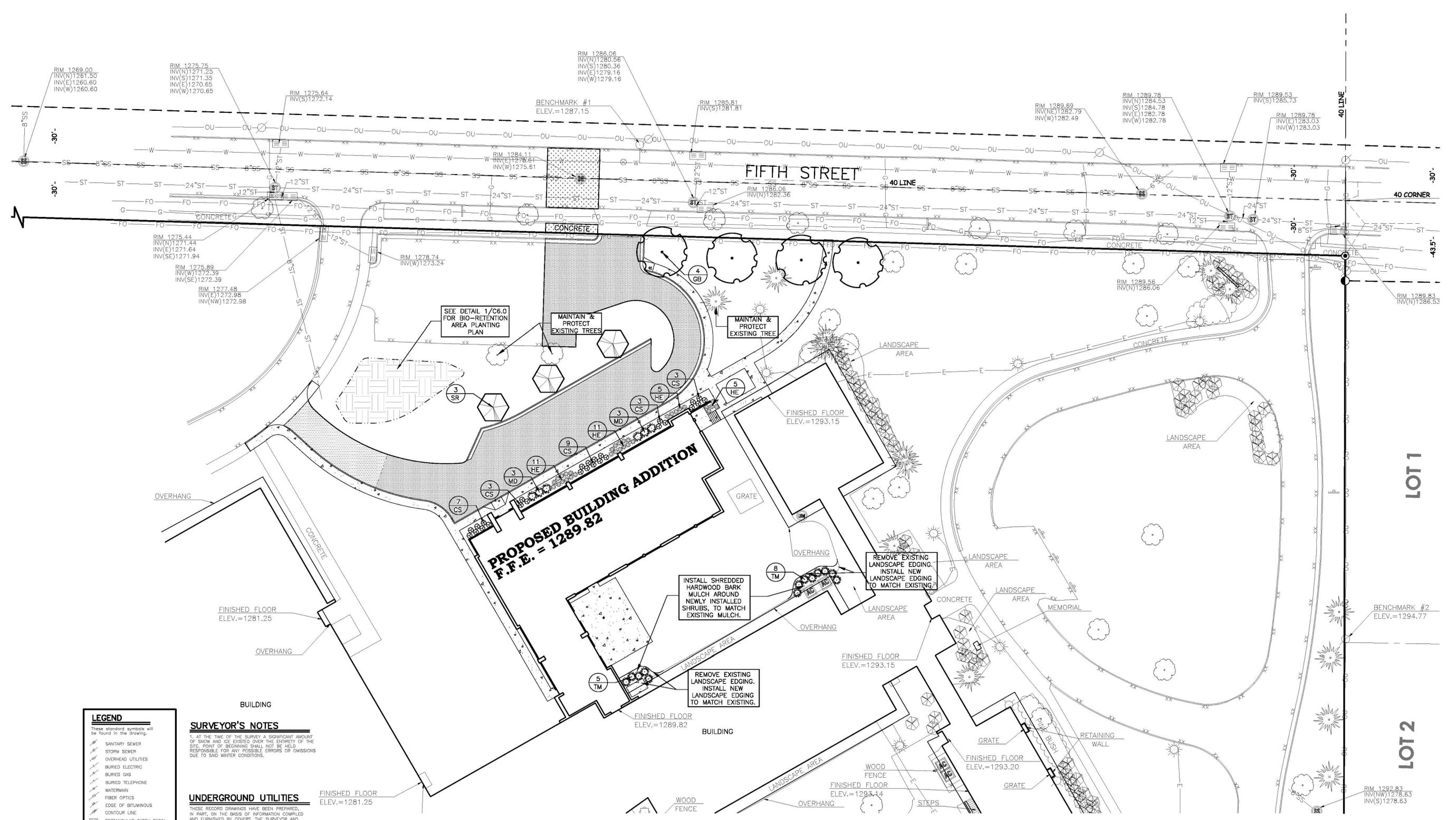
Project Number:
3255

Issued For:
BID DOCUMENTS

Issue Dates:
June, 07 2016

Sheet Title:
LANDSCAPE PLAN

Sheet Number:
C6.0



LEGEND
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GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
- SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
- ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES.
- ALL TREES IN THE TURF AREA SHALL HAVE A 4" DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.
- 3" OF SHREDDED HARDWOOD BARK MULCH SHALL BE PLACED IN ALL LANDSCAPE PLANTING BEDS.
- FILTER FABRIC SHALL BE PLACED BENEATH ALL SHREDDED HARDWOOD BARK MULCH.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE), SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

PLANTING SCHEDULE:

TREES	SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
GR		GRINKGO BILGDA 'AUTUMN GOLD'	AUTUMN GOLD GRINKGO	2" CAL.	40"X40"W	4
SR		STRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	1 1/2" CAL.	25"X15"W	3
SHRUBS	SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
CS		CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED-OSIER DOGWOOD	3 GAL.	30"X30"W	25
MD		MICROBIOTA DECUSSATA 'CELTIC PRIDE'	CELTIC PRIDE RUSSIAN CYPRESS	3 GAL.	18"X15"W	8
TM		TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	3 GAL.	17X15W	13
PERENNIALS	SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
HE		HOSTA X 'ENTERPRISE'	ENTERPRISE HOSTA	1 GAL.	2"X3"W	32

LANDSCAPE REQUIREMENTS:

ZONING DISTRICT REQUIREMENTS USED: CAMPUS DEVELOPMENT, CD

STREET FRONTAGE (PROPOSED ADDITION):
315/100 = 3.15
3.15 X 40 PTS = 126 PTS REQUIRED
160 PTS PROPOSED

PARKING AREAS:
9,101 S.F./10,000 = 0.91 X 60 = 55 PTS REQUIRED
OR
9 STALLS/20 = 0.45 X 60 = 27 PTS
60 PTS PROPOSED

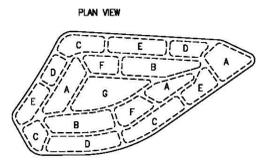
PLANT CLUSTER SIZE TOTAL PLUGS

PLANT CLUSTER SIZE	TOTAL PLUGS
A PLUG	110
B PLUG	100
C PLUG	100
D PLUG	90
E PLUG	80
F PLUG	50
G PLUG	70

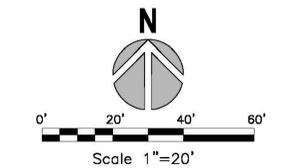
BOTANICAL NAME COMMON NAME

A- ASCLEPIAS INCARPATA	RED MILKWEEED
B- LIRIODENDRON SPECIOSUM	PRINCE OF GEORGES STAR
C- PHYSTOLIGIA VIRGINIANA	ORIENTAL PLANT
D- CHELON GLABRA	WHITE TURTLEHEAD
E- LOBELIA CARDINALIS	CARDINAL FLOWER
F- HELENIUM AUTUMNALE	SNEEZEWEED
G- PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS

**1 PLUG FOR EVERY 2 SQUARE FEET



BIO-RETENTION AREA PLANTING DETAIL



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ELECTRICAL SYMBOLS AND ABBREVIATIONS

THIS IS A COMPREHENSIVE SYMBOL AND ABBREVIATION LIST. NOT ALL SYMBOLS ARE APPLICABLE TO THESE DRAWINGS.

WIRING DEVICES

- S SINGLE POLE SWITCH, 3-3 WAY, 4-4 WAY, P-PILOT
- R-RELAY, K-KEYED, I-ILLUMINATED, D-DIMMER M-MOTION SENSOR SWITCH, T-TOUCH BOLT
- SINGLE RECEPTACLE C-CEILING MOUNTED
- DUPLEX RECEPTACLE C-CEILING MOUNTED
- DUPLEX RECEPTACLE MOUNTED AT 42° TO CENTER
- POWER RECEPTACLE 240V 30-30AMP 60-60AMP R = 50A RANGE OUTLET D = 30A DRYER OUTLET
- DUPLEX RECEPTACLE MOUNTED ABOVE CENTER
- DUPLEX RECEPTACLE WITH TOP HALF SWITCHED
- SURGE PROTECTED RECEPTACLE
- DOUBLE DUPLEX RECEPTACLE (RECEPTACLES MOUNTED SIDE BY SIDE)
- BLANK OUTLET FOR FUTURE DEVICES 4" BOX, SINGLE GANG RING, BLANK PLATE, 1" CONDUIT STUBBED INTO ACCESSIBLE CEILING
- BLANK OUTLET MTD @ 42° FOR FUTURE DEVICES 4" BOX, SINGLE GANG RING, BLANK PLATE, 1" CONDUIT STUBBED INTO ACCESSIBLE CEILING

- PLUG STRIP
- DUPLEX RECEPTACLE IN FLOOR, FLUSH MTD A,B,C = TYPE PER SPECIFICATION.
- EQUIPMENT CONNECTION
- SPECIAL OUTLET
- FLUSH FLOOR BOX, DUAL SERVICE, SEE SPECIFICATIONS FOR TYPE.
- J-BOX

- ## LIGHTING
- POLE MOUNTED LIGHT FIXTURE
 - CEILING MOUNTED FLUSH OR SURFACE
 - WALL MOUNTED, FLUSH OR SURFACE
 - FLUORESCENT FIXTURE
 - EMERGENCY LIGHT
 - RECESSED EMERGENCY LIGHT
 - AREA OF RESCUE ILLUMINATED SIGN
 - EXIT LIGHT - ONE FACE
 - EXIT LIGHT - TWO FACE
 - DUAL TECHNOLOGY OCCUPANCY SENSOR LIGHTING
 - ULTRASONIC OCCUPANCY SENSOR LIGHTING
 - PHOTOCCELL

- ## FIRE ALARM
- WALL MOUNTED VOICE/VISUAL NOTIFICATION APPLIANCE, X = CD LEVEL
 - WALL MOUNTED VISUAL NOTIFICATION APPLIANCE, X = CD LEVEL
 - WALL MOUNTED FIRE ALARM SPEAKER
 - CEILING MOUNTED FIRE ALARM SPEAKER
 - CEILING MOUNTED VISUAL NOTIFICATION APPLIANCE, X = CD LEVEL
 - CEILING MOUNTED VOICE/VISUAL NOTIFICATION APPLIANCE, X = CD LEVEL
 - WALL MOUNTED BELL
 - MANUAL PULL STATION
 - FIRE ALARM CONTROL PANEL
 - FIRE ALARM ANNUNCIATOR PANEL
 - FIRE ALARM POWER SUPPLY
 - HEAT DETECTOR
 - SMOKE DETECTOR
 - DUCT SMOKE DETECTOR, SEE DETAIL (E2.2)
 - ELEVATOR SMOKE DETECTOR
 - MAGNETIC DOOR HOLDER, SEE DETAIL (E2.2)
 - ADDRESSABLE CONTROL MODULE
 - SPRINKLER FLOW SWITCH
 - SPRINKLER TAMPER SWITCH
 - ADDRESSABLE MONITOR MODULE

- ## ACCESS CONTROL
- CARD READER, SEE DETAIL.
 - ELECTRIC STRIKE, SEE DETAIL.

EQUIPMENT

- NEW SURFACE MOUNTED PANEL, SEE PLANS.
- NEW FLUSH MOUNTED PANEL, SEE PLANS.
- EXISTING SURFACE MOUNTED PANEL, SEE PLANS.
- EXISTING FLUSH MOUNTED PANEL, SEE PLANS.
- TYPE
- EQUIPMENT LOCATION
- DESIGNATION

MOTOR CONTROL

- HEAVY DUTY DISCONNECT F=FUSIBLE PROOF FURNISHED BY E.C.
- NON-COMBINATION STARTER
- COMBINATION STARTER
- MANUAL STARTER
- MOTOR OUTLET TERMINAL, ON ROOF MOUNTED UNITS PROVIDE WEATHER PROOF DISCONNECTS. X = HORSE POWER OR MOTOR NUMBER IF SCHEDULE IS PROVIDED.

MISCELLANEOUS

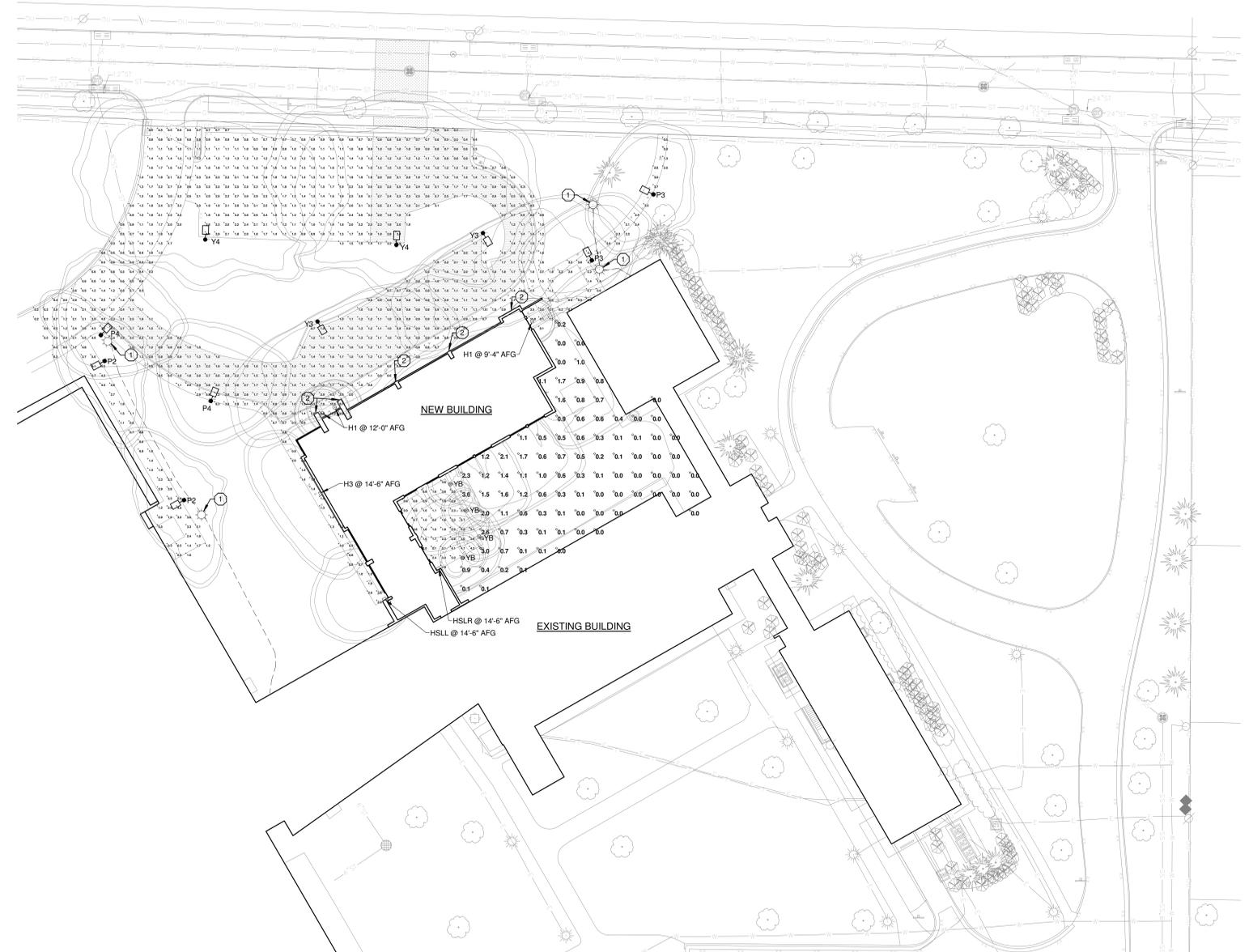
- COND. STUB THROUGH WALL BUSHED EACH END
- CABLE TRAY, INSTALL PER DETAIL
- ELECTRIC HAND/HAIR DRYER
- WALL MOUNTED THERMOSTAT
- REFERS TO NOTE NUMBER
- REFERS TO DETAIL NUMBER
- SHEET NO. WHERE DETAIL IS LOCATED
- CIRCUIT HOMERUN TO 20A/1P BREAKER UNLESS SHOWN OTHERWISE ON DRAWINGS.
- INDICATES CONNECTED TO SAME CIRCUIT BUT CONTROLLED SEPARATELY

COMMUNICATION

- DATA (SHADED) AND VOICE (UNSHADED) OUTLET, SEE DETAILS. X INDICATES NUMBER OF DROPS FOR PHONE AND DATA. PROVIDE 4" SQUARE DEEP BOX, 1-GANG RING, 1" CONDUIT STUBBED INTO ACCESSIBLE CEILING. NO "X" INDICATES SINGLE DROP.
- TELEPHONE OUTLET ONLY, SEE DETAIL. X INDICATES NUMBER OF PHONE DROPS PER OUTLET. NO X INDICATES 1 DROP. PROVIDE 4" SQUARE DEEP BOX, 1-GANG RING, 1" CONDUIT STUBBED INTO ACCESSIBLE CEILING.
- WALL TELEPHONE MOUNTED AT 42° AFF. PROVIDE 4" SQUARE DEEP BOX, 1-GANG RING, 1" CONDUIT STUBBED INTO ACCESSIBLE CEILING.
- DATA OUTLET, SEE DETAIL. X INDICATES NUMBER OF DROPS PER OUTLET. NO X INDICATES 1 DROP. PROVIDE 4" SQUARE DEEP BOX, 1-GANG RING, 1" CONDUIT STUBBED INTO ACCESSIBLE CEILING.
- WIRELESS ACCESS POINT DATA OUTLET MOUNTED IN FACE OF CEILING.
- TELEVISION OUTLET, SEE DETAIL.
- SECURITY CAMERA
- AREA OF REFUGE STATION
- AREA OF REFUGE MASTER
- SINGLE PUSH BUTTON
- MULTI PUSH BUTTON STATION

ABBREVIATIONS

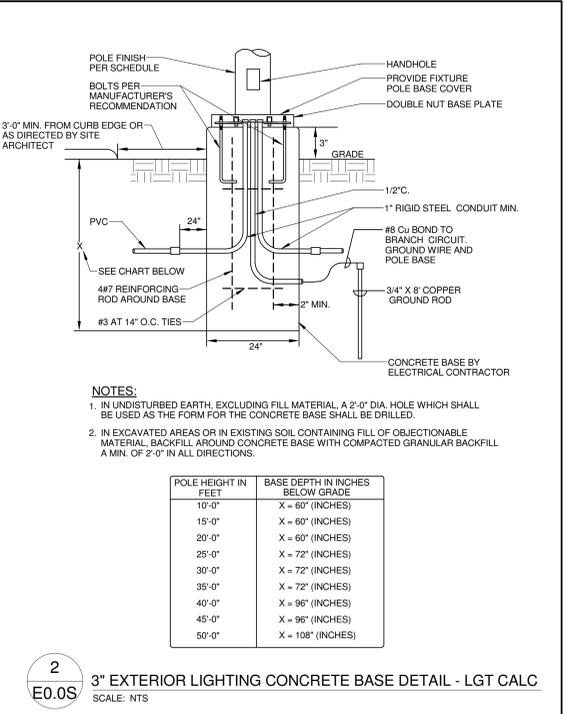
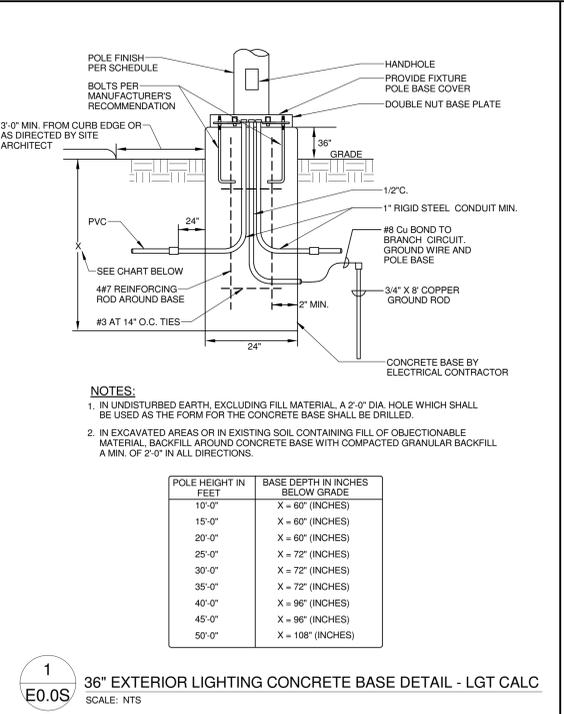
- AFF ABOVE FINISH FLOOR
- AFG ABOVE FINISH GRADE
- AHU AIR HANDLING UNIT
- C CONDUIT
- CCU COOLING CONDENSER UNIT
- CKT CIRCUIT
- CT CURRENT TRANSFORMER
- CON CONTACTOR
- CP CONTROL PANEL
- CUH CABINET UNIT HEATER
- DIS DISCONNECT
- DM DEMARC
- DS DOOR SWITCH
- EBB ELECTRICAL BASE BOARD
- ECB ELECTRICAL CONTRACTOR
- ECB ENCLOSED CIRCUIT BREAKER
- EDH ELECTRIC DUCT HEATER
- EF EXHAUST FAN
- ELEV ELEVATION
- EM EMERGENCY
- EQ EQUIPMENT
- EOL END OF LINE RESISTOR
- EUH ELECTRIC UNIT HEATER
- EWC ELECTRIC WATER COOLER
- EWH ELECTRIC WALL HEATER
- FAAP FIRE ALARM ANNUNCIATOR PANEL
- FACP FIRE ALARM CONTROL PANEL
- FBO FURNISHED BY OTHERS
- FC VARIABLE SPEED FAN CONTROL SWITCH
- GUH GAS UNIT HEATER
- GC GENERAL CONTRACTOR
- GFI GROUND FAULT INTERRUPTER
- GND GROUND
- HF HEAT FAN
- HVAC HEATING, VENTILATING AND AIR CONDITIONING
- IDF INTERMEDIATE DISTRIBUTION FRAME
- IG ISOLATED GROUND
- INC INCANDESCENT
- JB JUNCTION BOX
- LC LIGHTING CONTROL
- MAU MAKEUP AIR UNIT
- MC MECHANICAL CONTRACTOR
- MDF MAIN DISTRIBUTION FRAME
- MOD MOTOR OPERATED DAMPER
- MTD MOUNTED
- NL NIGHT LIGHT
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- OHD OVERHEAD DOOR
- OC ON CENTER
- PC PHOTOCCELL
- PDB PUNCH DOWN BLOCK
- PNL PANELBOARD
- PS POWER SUPPLY
- RCP RELAY CONTROL PANEL
- REF REFRIGERATOR
- RTU ROOF TOP UNIT
- SAP SECURITY ANNUNCIATOR PANEL
- SCP SECURITY CONTROL PANEL
- SJB SOUND SYSTEM JUNCTION BOX
- SPD SURGE PROTECTION DEVICE
- SS STAINLESS STEEL
- SV SOLENOID VALVE
- TC TELECOMMUNICATION CLOSET
- TCP TEMPERATURE CONTROL PANEL
- TGBM TELECOMMUNICATION GROUND BAR MASTER
- TGB TELECOMMUNICATION GROUND BAR
- TJB TERMINAL JUNCTION BOX
- TRN TRANSFORMER
- TRS TRANSFER SWITCH
- TTB TELEPHONE TERMINAL BOARD
- UC UNDERCOUNTER
- UH UNIT HEATER
- VFD VARIABLE FREQUENCY DRIVE
- WE WALL EXHAUST
- WG WIRE GUARD
- WH WATER HEATER
- WP WEATHER PROOF



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
courtyard	◇	0.6 fc	3.6 fc	0.0 fc	N/A	N/A	0.2:1
PARKING/DRIVE/SIDEWALK	+	1.6 fc	13.9 fc	0.2 fc	69.5:1	80.1	0.1:1
PATIO	◇	2.2 fc	5.0 fc	0.5 fc	10.0:1	4.4:1	0.4:1

North
Site Plan - Lighting Calc
Scale: 1" = 30'-0"



- ### GENERAL NOTES:
- UNLESS SHOWN OTHERWISE, ALL WIRING SHOWN IS (2) #10 AND #10 GROUND IN 1" PVC.
 - INSTALL PULL CORD IN ALL EMPTY CONDUITS.
 - PROVIDE CONCRETE BASE ROUGH-IN PER DETAIL (E0.0S) FOR TYPES Y3 AND Y4.
 - PROVIDE CONCRETE BASE ROUGH-IN PER DETAIL (E0.0S) FOR TYPES P2, P3 AND P4.
 - UNLESS SHOWN OTHERWISE, ALL CONDUITS BURIED 2'-6" BELOW FINISHED GRADE.
 - BRING SITE EXCAVATION AND TOPPING BACK TO ORIGINAL CONDITION IF TRENCHING IS DONE ON COMPACTED SURFACES.
 - ALL EXTERIOR LIGHT POLES TO BE MOUNTED A MINIMUM 3'-0" FROM CURB OR SIDEWALK EDGE OR WHERE DIRECTED BY ARCHITECT. TYPICAL OF ALL LIGHT POLE FIXTURES SHOWN ON SITE.

- ### PLAN NOTES:
- REMOVE EXISTING POST-TOP LIGHT FIXTURE, AND ASSOCIATED POLE, BASE, CONDUIT AND WIRE BACK TO SOURCE.
 - BUILDING FACADE LIGHTING TO BE DETERMINED. ANTICIPATED TO BE LIGHT FROM TOP OF BUILDING DOWNWARD.

EVERETT ROEHL STEM CENTER - UW MARSHFIELD/WOOD COUNTY FIXTURE SCHEDULE						
TYPE	DESCRIPTION	LAMP	QTY	MANUFACTURER	CATALOG NUMBER	NOTE
H1	8\"/>					

GENERAL NOTES:
1. ALL FIXTURES TO BE UNIVERSAL VOLTAGE (120-277V) UNLESS OTHERWISE NOTED.
2. ALL FIXTURE FINISHES SHALL BE SELECTED BY ARCHITECT FROM STANDARD AND RAL COLOR CHART.

REFERENCED NOTES:
1. OWNER TO SELECT ARM LENGTH FROM 12\", 18\", 24\"/>



Office Locations:
Milwaukee
173 North Broadway
Milwaukee, Wisconsin 53202
T: 414.226.0200
F: 414.226.0224
Sheboygan
1202A North 8th Street
PO Box 955
Sheboygan, Wisconsin 53082
T: 920.459.4200
F: 920.459.4205
www.brayarch.com

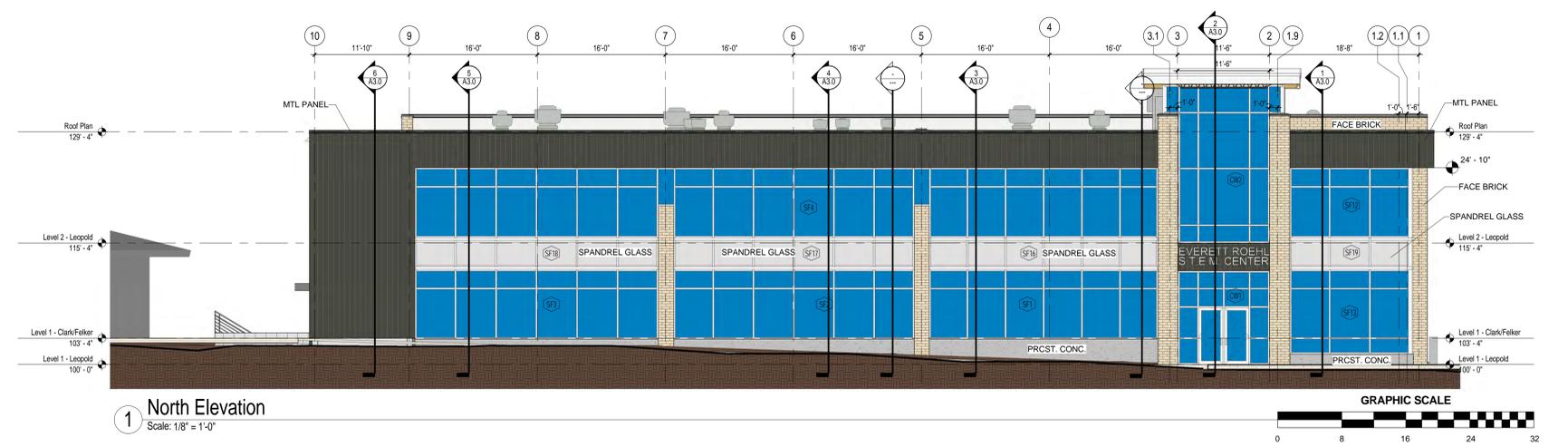
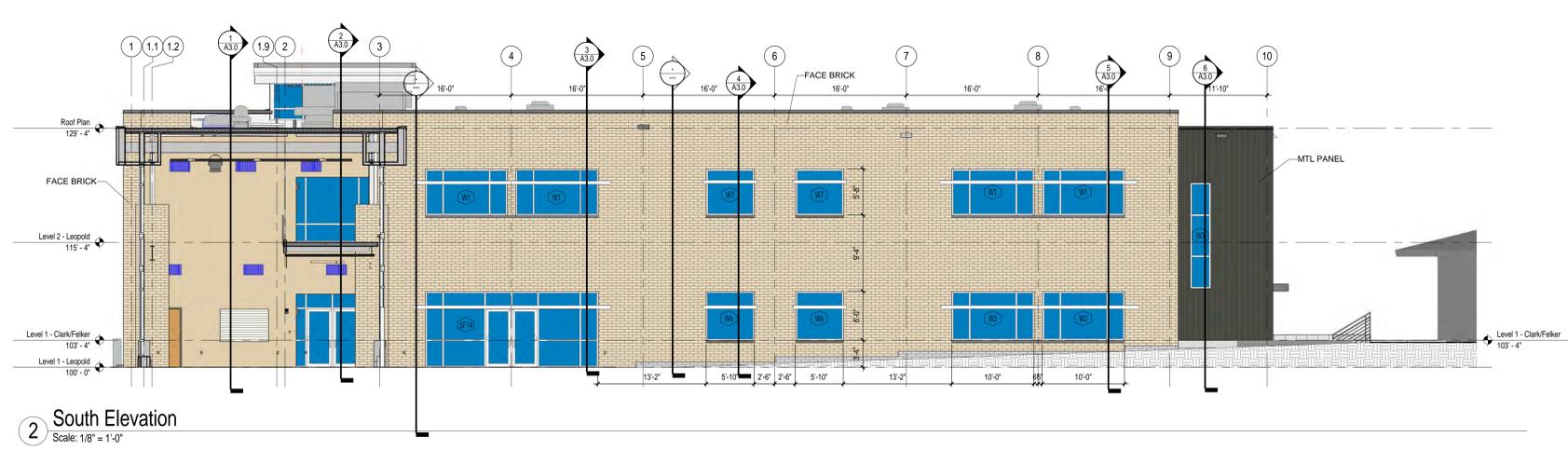
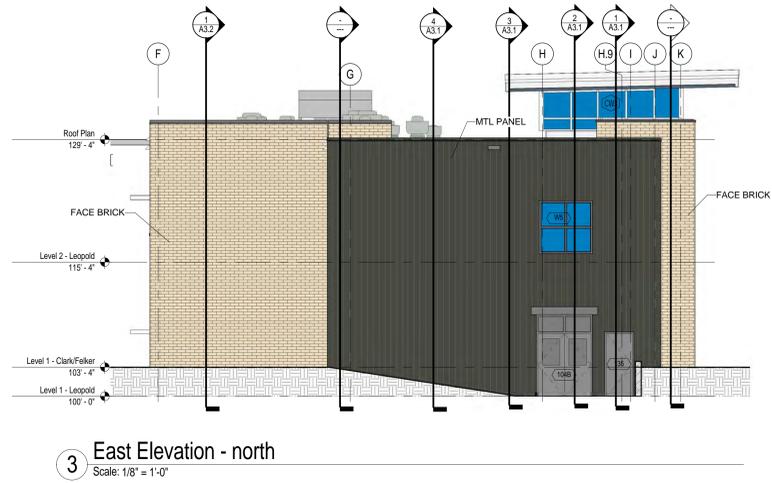
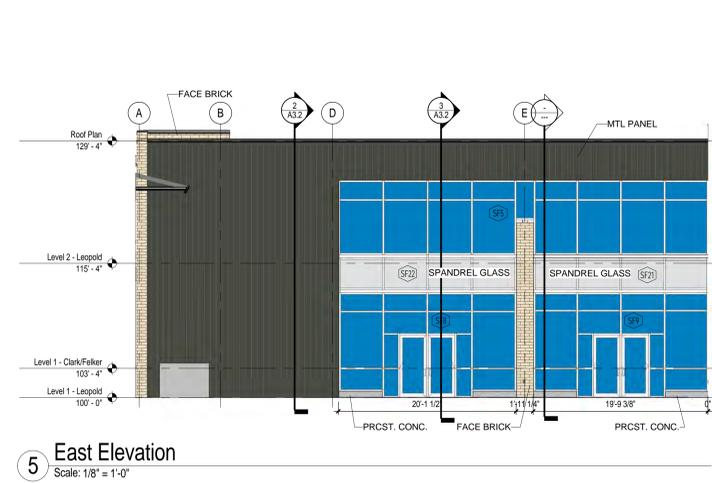


Project Title:
Design Development
Everett Roehl STEM Center
University of Wisconsin - Marshfield/Wood County
UW Marshfield/Wood Co.
Project Number:
3255

Issued For:
75% REVIEW
NOT FOR CONSTRUCTION
Issue Dates:
May 13, 2016

Sheet Title:
Symbols List and
Site Plan - Lighting
Calc

Sheet Number:
E0.0S





City of Marshfield Memorandum

TO: Plan Commission
FROM: Josh Miller, City Planner
DATE: June 21, 2016

RE: Conditional Use Request by the Marshfield School District to allow the exterior addition of a Large Scale Indoor Institutional Use for an outdoor learning center adjacent to Washington Elementary School within property zoned "SR-4" Single Family Residential, located at 1112 West 11th Street (Parcel 33-03362A).

Background

The Marshfield School District, on behalf of the Washington Elementary School staff, Parent Teacher Organization, with assistance from Leadership Marshfield, is proposing a new outdoor learning center addition on the south side of the existing school. The property is zoned "SR-4" Single Family Residential. An elementary school falls under the category of a "Large Scale Indoor Institutional" use having more than 10,000 total gross square feet, requiring a Conditional Use Permit whenever the site plan is modified or the building is added to when that modification is considered significant or exceeds 1,200 square feet in area. The addition is approximately 5,200 square feet total.

Analysis

When considering that the lot itself is nearly 14 acres in area, the proposed 5,200 square foot outdoor learning area is a minimal addition and minor change to the site. The outdoor learning area will be abutting the elementary school building to the west, north, and east. The south and a small portion of the east edge of the new outdoor area will be enclosed with a small decorative or wrought iron fence, accessible by gates. The outdoor area will consist of a large classroom area that can seat 25-30 students, a compacted gravel path, an elevated classroom setting, landscaped walkways, shade sails over outdoor classrooms, science tables, outdoor storage containers, and other seating areas. A sketch of the layout and landscaping is included in the packet.

Location

The land use and zoning to the north across 11th Street consists of Single and Two Family Residential districts (a mix of SR-3, SR-4, and TR-6) with vacant land as well as 1 and 2 family uses. Across Schmidt Avenue to the east is the House of the Dove hospice care facility, zoned "MR-24" Multi-Family Residential.

South of the school, and in the same block lies a single family house and vacant lot, also zoned "SR4". Across 14th Street to the south is Christ Lutheran Church zoned "SR-2" Single Family Residential. And to the west, across Lincoln Avenue is Weber's Farm, a parcel that resides in the Town of Lincoln.

Site

The closest property line to the proposed outdoor learning area is along 11th Street to the north with a setback of approximately 200 feet. Every other setback is significantly greater than that. Because the outdoor learning center is located between two wings of the Elementary School, it won't be visible from the west or north and because of the topography and proximately from the street, it will barely be visible from south or east property lines.

Parking

Under the zoning code, an outdoor learning area is not defined and would be most comparable to a playground or even an expanded classroom area. Parking for a playground is determined by the Zoning Administrator and parking for an elementary school addition would require one space for every two employees. Because the proposal does not increasing the number of teachers or capacity of the school, no additional parking is required.

Landscaping

Since the outdoor learning area is not a building or parking addition, no additional landscaping is required. Much of the learning area will actually incorporate new landscaping.

Lighting

No lighting plan has been submitted at this time. Any new lighting will be required to meet the standards of Section 18-104 of the Zoning Code.

Conditional Use Criteria

The following information is based on the specific requirements outlined in Section 18-161(6) Conditional Use Review Criteria for Plan Commission consideration.

Conditional Use Decision Criteria of 18-161(6)(c):

- (c) The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

- 1. Is in harmony with the recommendations of the Comprehensive Plan.

Staff does not find any conflict with the proposed use and the Comprehensive Plan.

- 2. Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors,

traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.

The character of the neighborhood would not change as this is just an extension of the existing school. There are already outdoor activities that take place on the property for sports and gym classes. Adding an outdoor learning area should have no additional impact on the neighborhood.

3. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

The consistency of the land use will not change.

4. The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.

The subject property is already adequately served by public services, which supports no change.

5. The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

The purpose of the addition is to improve educational opportunities for the students and staff does not feel the proposal would have an adverse impact at all.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE a Conditional Use Request by the Marshfield School District based on the information presented and the conditional use criteria being met, to allow the exterior addition of a Large Scale Indoor Institutional Use for an outdoor learning center adjacent to Washington Elementary School within property zoned "SR-4"

Single Family Residential, located at 1112 West 11th Street (Parcel 33-03362A) with the following condition:

1. The site plan for the outdoor learning area is approved, allowing minor modifications to be approved administratively.
2. Applicant is responsible for applying for any necessary building or fence permits.
3. Any exterior lighting proposed for the project must meet the standards set forth in Section 18-104 of the Zoning Code.

Attachments

1. Application
2. Location Map
3. Layout Sketch

Concurrence:



Jason Angell
Director of Development Services



MARSHFIELD

The City in the Center

Revised: 1/1/16

Development Services Department

City of Marshfield
630 South Central Avenue
6th Floor, Suite 602
Marshfield, WI 54449

Ph: 715-486-2077 Fax: 715-384-7631

Email: Sam.Schroeder@ci.marshfield.wi.us

**Conditional Use
Permit Application**

Fee: \$250.00

Today's Date: 6/1/16

OFFICE USE ONLY

Date Received: <u>6-2-16</u>	Fee Receipt Number: <u>Billed</u>	Zoning District: <u>SR-4</u>	Parcel #: <u>33-03362A</u>
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SITE INFORMATION

Site Address: <u>1112 W. 11th Street</u>	Present Land Use: <u>School</u>
Legal Description: <u>Washington Elementary School</u>	

APPLICANT INFORMATION

Applicant Name: <u>Marshfield School District</u>	Phone #: <u>715 387-1101</u>	Email Address: <u>Sturomski@marshfield.k12-wi.us</u>
Address, City, State, Zip: <u>1010 E. 4th St. Marshfield, WI 54449</u>		
The Applicant is the <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Representative/Other (Describe): <u>Director of Buildings & Grounds</u>		

OWNER INFORMATION (IF DIFFERENT THAN APPLICANT INFORMATION)

Owner Name:	Owner Phone #:	Owner Email Address:
Owner Address, City, State, Zip:		

DETAIL OF CONDITIONAL USE REQUEST

Proposed Land Use: <u>Outdoor Educational Setting</u>	Proposed # of Employees:	Proposed Hours of Operation: <u>School days / hrs.</u>
<input type="checkbox"/> Residential or <input checked="" type="checkbox"/> Nonresidential	Number of Buildings: <u>1</u>	Number of Units:
Density (units per acre):		
Narrative of Conditional Use Request: <u>Outdoor learning center / classroom</u>		
Future Plans/Modifications:	Time Needed to Finish Request:	

CODE REQUIREMENT REFERENCES (ZONING CODE - CHAPTER 18)

<input type="checkbox"/> Setback Requirements - Article II: Establishment of Zoning Districts
<input type="checkbox"/> Parking Requirements - Article III: Land Use Regulations
<input type="checkbox"/> Lighting, Storage, and Parking Standards - Article VII: Design and Performance Standards
<input type="checkbox"/> Landscape Requirements - Article VIII: Landscape Requirements

DOCUMENTATION SUBMITTED

<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Landscape Plan	<input type="checkbox"/> Lighting Plan	<input type="checkbox"/> Survey	<input type="checkbox"/> Photographs	<input type="checkbox"/> Other:
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Required documentation must be submitted to the Planning & Economic Development Department in order for the application to be placed on the Plan Commission meeting agenda. Although attendance by applicants at the Plan Commission meeting is optional, it is STRONGLY ADVISED that applicants make every effort to attend. Failure to attend can result in the denial or delay of an application due to incomplete information. Fees: the required fee of \$250 shall be submitted with this application, and shall not be refunded should this application be denied.

I hereby apply for a conditional use permit, and I acknowledge that the information above is complete and accurate; that the work will be in conformance with the ordinances and codes of the City of Marshfield and with Wisconsin Statutes and Building Codes; that the Plan Commission may recommend conditions not expressly stated, prior to the meeting, in documentation or by staff, or deny in part or in whole this request; that I understand this form is not in itself a conditional use permit but only an application for one and is valid only with procurement of applicable approvals. The Common Council shall be the final approval authority for the conditional use. In addition, as owner or authorized agent, my signature authorizes the City Staff or their representatives including members of the Plan Commission and Common Council to visit and inspect the property for which this application is being submitted.

Applicant Signature:

Date:

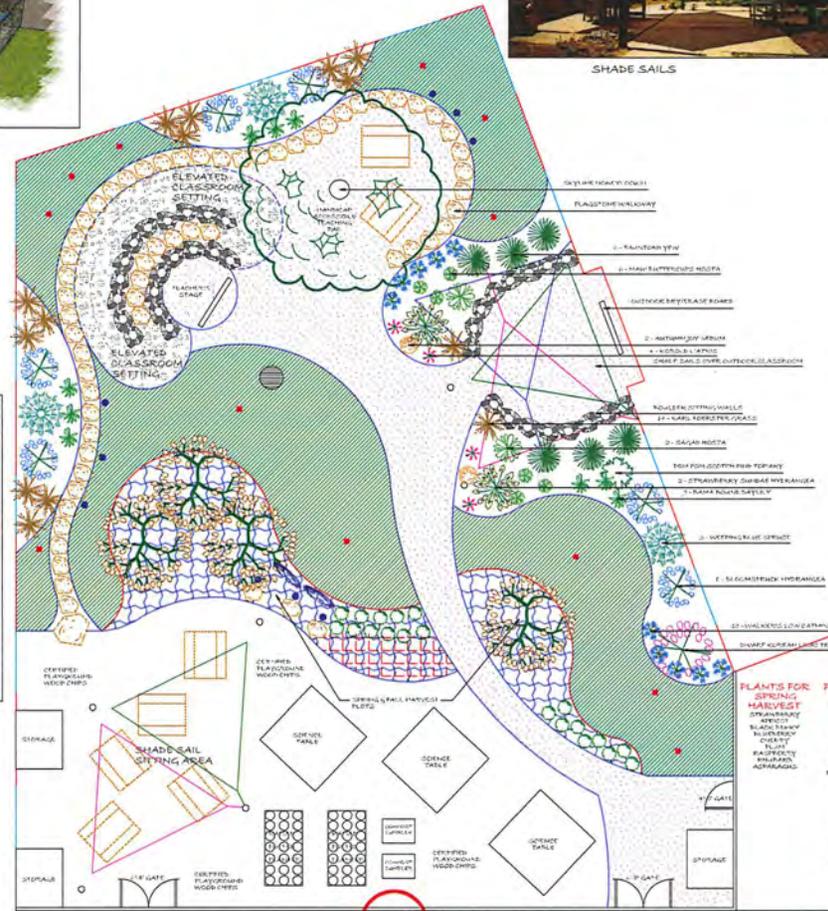
6-2-2016



SHADE SAILS



SHADE SAILS



NOTES:
ALL LANDSCAPE AREAS TO INCLUDE 1" MINIMUM MULCH DEPTH UNLESS OTHERWISE NOTED

- | | |
|---|------------------|
| ● | SPRING HARVEST |
| ● | FALL HARVEST |
| ● | PERENNIAL |
| ● | BIENNIAL |
| ● | ANNUAL |
| ● | WINTER GREEN |
| ● | WINTER BURN |
| ● | WINTER INTEREST |
| ● | WINTER COLOR |
| ● | WINTER TEXTURE |
| ● | WINTER STRUCTURE |
| ● | WINTER INTEREST |
| ● | WINTER COLOR |
| ● | WINTER TEXTURE |
| ● | WINTER STRUCTURE |



Schalow's Nursery Inc.
 2 Miles east of the junction Heritage-13
 8461 Heritage Drive
 Marshfield, WI. 54449
 SERVING CENTRAL WISCONSIN SINCE "1965"

NOTES: _____ LANDSCAPE PLAN

 DESIGNER: _____ RYAN VIRDEN
 PHONE: 591-3478 / 1-800-944-1985 / FAX: 591-5523

NAME: _____ WASHINGTON ELEMENTARY SCHOOL
 ADDRESS: _____ 1016 E. 4TH STREET
 CITY: _____ MARSHFIELD
 PHONE: _____ (715) 227-1222

SCALE: 1" = 6'-0"
 DATE: _____ DATE





City of Marshfield Memorandum

TO: Plan Commission
FROM: Sam Schroeder, Zoning Administrator
DATE: June 21, 2016

RE: Conditional Use Request by the Central Wisconsin State Fair (CWSF) to allow the construction of a new accessory building which will include temporary stables for horses within property zoned "CD" Campus Development zoning district prior to the adoption of a Campus Master Plan, located at 311-315 East 17th Street (Parcel 33-03462).

Background

The Central Wisconsin State Fair is requesting a conditional use permit to construct a new accessory building ("barn") located to the west of the existing hockey building off of East 17th Street prior to the adoption of a Campus Master Plan. The purpose of this structure will be for general events, needed storage space, and is designed to allow horse stalls to temporarily be assembled during the Fair and/or other horse events.

Analysis

The proposed structure is 64 feet wide by 144 feet long for a total of 9,216 square feet. It will be located in the existing gravel lot just south of the existing horse barns and west of the existing hockey building off of East 17th Street. One third of the proposed building will be used for permanent fairgrounds storage. The other two thirds will be used for events and will be able to house up to 36 – 10 feet by 10 feet temporary horse stables that can be used during horse events and during the fair.

Being located within a Campus Development zoning district, setbacks are either defined by a Campus Master Plan or through a conditional use permit. Since the Fairgrounds has not yet adopted a Campus Master Plan, setbacks can be defined through the approval of this conditional use request. The setbacks for the proposed structure are:

- 55' to the west property line abutting the residential properties
- 70' to the existing horse barn to the north
- 110' to the existing hockey building which is likely on or over the property line
- 124' to the south property line along East 17th Street

The existing horse barns are located 45 feet from the residentially properties to the West, which is 10 feet closer than the proposed. Although an agriculture structure that would be used to primarily house animals would require a greater setback than the proposed 55 feet, we are viewing this new structure as primarily a storage facility in addition to a building to host events. As labeled and described in the application, the

proposed horse stables are designed to be temporary which would allow them to take them in and out.

The Applicant did not include a landscape plan with the submitted application. According to the City Zoning Code, any new development is required to provide landscaping in accordance with the regulations found under Article VIII. Article VIII requires a minimum of 40 points of landscaping per linear foot of street frontage, 60 points of landscaping per 20 parking stalls or 10,000 square feet of parking whichever is greater, and a bufferyard which is defined through a conditional use permit or the campus master plan. In the past we have associated the Campus Development district closely with the "CMU" Community Mixed Use district requiring a minimum bufferyard opacity of 0.5 abutting single family residential properties.

At this time because the Fairgrounds has such a broad spectrum of structures and uses, both temporary and permanent, in addition to the large amount of temporary parking during certain event, staff did not calculate the required or provided parking; however, the Fairgrounds is currently working on drafting a Campus Master Plan for the overall campus that will need to include these details. During the review of this Campus Master Plan the City will be able to review the required verse the existing parking.

Conditional Use Criteria

The following information is based on the specific requirements outlined in Section 18-161(6) Conditional Use Review Criteria for Plan Commission consideration

Conditional Use Review Criteria of 18-161(6)(c)

(c) *The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:*

1. *Is in harmony with the recommendations of the Comprehensive Plan.*

Staff does not find any conflict with the proposed use and the Comprehensive Plan.

2. *Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.*

This proposed structure is directly adjacent to residential homes; however, this property is currently used for similar uses and staff is recommending that screening be installed to mitigate any further issues as well as hard surface a large portion of existing gravel that can be a nuisance as well as detrimental to our City streets and services.

3. *Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.*

The consistency of the land use will not change.

4. *The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.*

The subject property is already adequately served by public services, which would not cause any changes to public services.

5. *The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.*

This proposed structure will allow for the fairgrounds to have additional needed storage space as well as a permanent structure for events and during the fair so tents would not need to be rented and setup.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

Staff recommends approval of the Conditional Use Request by the Central Wisconsin State Fair based on the information presented and the conditional use criteria being met, to allow the construction of a new accessory building which will include temporary stables for horses within property zoned "CD" Campus Development zoning district prior to the adoption of a Campus Master Plan, located at 311-315 East 17th Street (Parcel 33-03462) with the following conditions:

1. The previous condition for Resolution 2016-22 requiring a draft Campus Master Plan to be submitted to the City by April 26, 2017 is still in effect.
2. Minor changes to the site plan may be administratively approved.
3. Parcels 33-03462 and 33-03462AB must be combined through a recorded Certified Survey Map to reduce the nonconformity of the existing hockey building prior to the issuance of a building permit.
4. Within one year of the Certificate of Occupancy:
 - a. A bufferyard with a minimum opacity of 0.5 by the combination of either vegetative screening or solid fencing must be installed along the west property line abutting the residential zoned dwelling units off of South Cedar Avenue from East 17th Street right-of-way to the existing horse barn.
 - b. A minimum of 96 landscape points must be installed along East 17th Street.
 - c. The existing gravel area south of the proposed building from the west property line to the existing hockey building must be hard surfaced and marked indicating parking stalls. This parking area shall have a minimum setback of 3 feet from the west property line and 10 feet from the street

right-of-way line along East 17th Street. Parking landscaping including landscape islands shall be exempted for this paved area.

Attachments

1. Application
2. Location Map
3. Site Plan

Concurrence:



Jason Angell
Director of Development Services



MARSHFIELD
The City in the Center

Revised: 1/1/16

Development Services Department

City of Marshfield
630 South Central Avenue
6th Floor, Suite 602
Marshfield, WI 54449

Ph: 715-486-2077 Fax: 715-384-7631

Email: Sam.Schroeder@ci.marshfield.wi.us

**Conditional Use
Permit Application**

Fee: \$250.00

Today's Date: 05/26/2016

OFFICE USE ONLY

Date Received: <i>6/1/16</i>	Fee Receipt Number:	Zoning District: <i>CD</i>	Parcel #: <i>33-03462</i>
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SITE INFORMATION

Site Address: 513 East 17th Street	Present Land Use: Parking
Legal Description:	

APPLICANT INFORMATION

Applicant Name: Central Wisconsin State Fair	Phone #: 715-387-1261	Email Address: lag@tds.net
Address, City, State, Zip: 513 E. 17th St. PO Box 748 Marshfield, WI 54449		
The Applicant is the <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Authorized Representative/Other (Describe): Contact: Larry Gilbertson, CWSF President lag@tds.net		

OWNER INFORMATION (IF DIFFERENT THAN APPLICANT INFORMATION)

Owner Name: same	Owner Phone #:	Owner Email Address:
Owner Address, City, State, Zip:		

DETAIL OF CONDITIONAL USE REQUEST

Proposed Land Use: Construct horse/storage barn	Proposed # of Employees:	Proposed Hours of Operation:
<input type="checkbox"/> Residential or <input type="checkbox"/> Nonresidential	Number of Buildings: one	Number of Units:
		Density (units per acre):
Narrative of Conditional Use Request	The Central Wisconsin State Fair proposes to build an additional horse barn near our current horse barns. This addition to the show facilities has been discussed for many years. The building will replace the need for rented tents during Fair time and provide much needed off Fair season winter storage. This building will also attract summer time horse events to the city of Marshfield. This project will be funded by an estate gift given to the CWSF for capital improvements only. The projected construction date is October/November 2016.	
Future Plans/Modifications: none	Time Needed to Finish Request:	

CODE REQUIREMENT REFERENCES (ZONING CODE - CHAPTER 18)

<input type="checkbox"/> Setback Requirements - Article II: Establishment of Zoning Districts
<input type="checkbox"/> Parking Requirements - Article III: Land Use Regulations
<input type="checkbox"/> Lighting, Storage, and Parking Standards - Article VII: Design and Performance Standards
<input type="checkbox"/> Landscape Requirements - Article VIII: Landscape Requirements

DOCUMENTATION SUBMITTED

<input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> Landscape Plan <input type="checkbox"/> Lighting Plan <input type="checkbox"/> Survey <input type="checkbox"/> Photographs <input type="checkbox"/> Other:

Required documentation must be submitted to the Planning & Economic Development Department in order for the application to be placed on the Plan Commission meeting agenda. Although attendance by applicants at the Plan Commission meeting is optional, it is STRONGLY ADVISED that applicants make every effort to attend. Failure to attend can result in the denial or delay of an application due to incomplete information. Fees: the required fee of \$250 shall be submitted with this application, and shall not be refunded should this application be denied.

I hereby apply for a conditional use permit, and I acknowledge that the information above is complete and accurate; that the work will be in conformance with the ordinances and codes of the City of Marshfield and with Wisconsin Statutes and Building Codes; that the Plan Commission may recommend conditions not expressly stated, prior to the meeting, in documentation or by staff, or deny in part or in whole this request; that I understand this form is not in itself a conditional use permit but only an application for one and is valid only with procurement of applicable approvals. The Common Council shall be the final approval authority for the conditional use. In addition, as owner or authorized agent, my signature authorizes the City Staff or their representatives including members of the Plan Commission and Common Council to visit and inspect the property for which this application is being submitted.

Applicant Signature:

Larry Gilbertson

Date: 05/26/2016



Subject Property
 Marshfield Parcels

**Proposed
New Building**

**Horse
Barn 1**

**Horse
Barn 2**

Arena

**Hockey
Building**

**Grand
Stands**

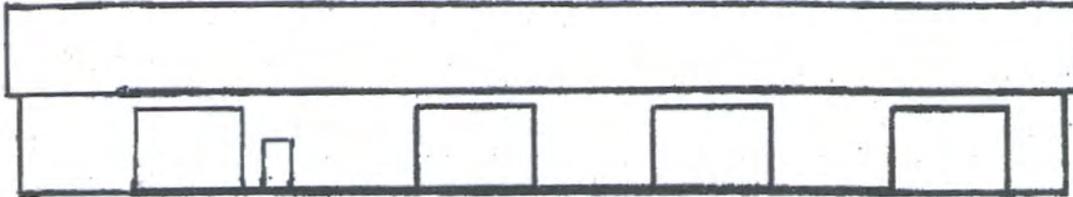
Round Barn



CUP: Central Wisconsin State Fair - Parcel 33-03462
 City of Marshfield - Plan Commission
 Meeting Date: June 21, 2016

ATTENTION: The representation of data presented herein is intended for reference purposes only; the City of Marshfield assumes no responsibility for the accuracy of the information provided. Any duplication without consent is prohibited.

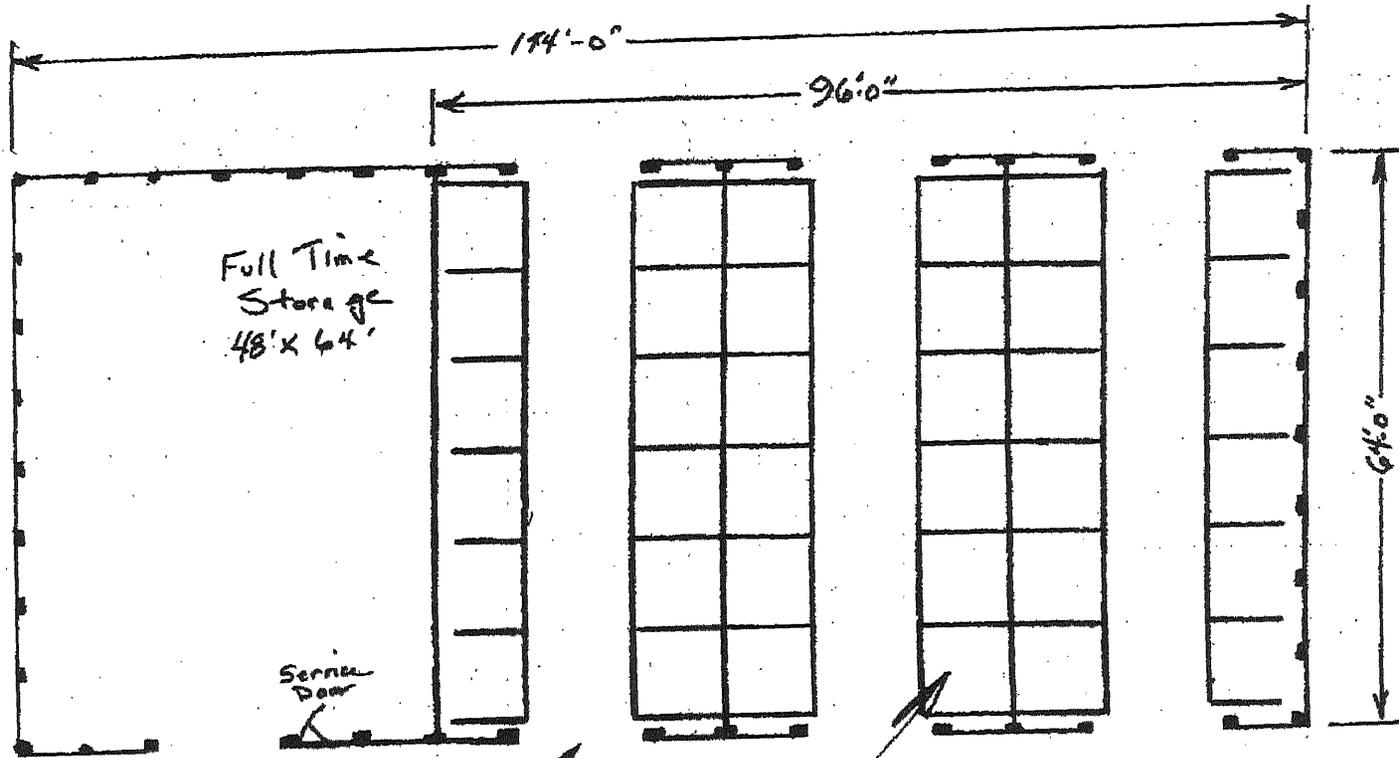
Map Not To Scale
For Reference Only



Endwall 1 & Sidewall 2



Endwall 2 & Sidewall 1



Full Time Storage
48' x 64'

Service Door

16' Doors

36 10x10 Temporary Stalls

64'-0"

194'-0"

96'-0"

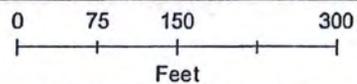
Central WI State Fair
Set backs



Marshfield GIS Map

Author: Marshfield GIS Department

Printed: 5/31/2016



This is not a legal survey document. This map was compiled by the City of Marshfield Geographic Information System based on the best available information as of the date printed here.
Sources: City of Marshfield GIS Department

Central Wisconsin State Fair
Marshfield, Wisconsin 2016

Horse barn #2

Horse Arena

Lang 4H
Building.

Jr Fair
Expo

Proposed Building site

Practice Arena

Hockey Building

East 17th Street.

Google earth

1998

Imagery Date: 9/15/2013 44°39'08.81" N 90°10'35.88" W elev 1272 ft eye alt 1819 ft



City of Marshfield Memorandum

TO: Plan Commission
FROM: Sam Schroeder, Zoning Administrator
DATE: June 21, 2016

RE: Municipal Code Amendment Request by the City of Marshfield to amend Section 18-65 of the Municipal Zoning Code referencing the Wisconsin Uniform Dwelling Code (UDC) to determine the separation requirements between a detached accessory building and a dwelling unit and clarifying the setback requirements for a garage on a corner lot.

Background

It was recently discovered that the separation requirement located in the Zoning Code between detached accessory structures to a dwelling unit was not in compliance with the Wisconsin Uniform Dwelling Code (UDC).

Analysis

Currently Section 18-65(7) of the City of Marshfield Zoning Code states “detached accessory buildings shall be located a minimum of 6 feet from a residential dwelling unit on the same lot, except where the structure will be constructed to fire-rating standards of the Uniform Dwelling Code.”

This regulation was carried over from the previous zoning code that was repealed January 1, 2013. The Wisconsin UDC requires a detached accessory structure to be located a minimum of 10 feet from a residential dwelling unit on the same lot, unless higher fire-rating standards can be met. For reference, the Wisconsin UDC considers an attached accessory building such as an attached garage as part of the dwelling unit. Staff is recommending that we amend this language to reference the Wisconsin UDC – “Detached accessory buildings shall meet the fire-rating separation standards of the Wisconsin Uniform Dwelling Code.” For zoning purposes, minor attachments such as fences, pergolas, breezeways, or similar attachments do not render the structure attached.

In addition to the separation code amendment staff is also suggesting to clarify the intent of the code as it refers to the setback for garages on a corner lot. Currently a garage on a corner lot, where the lot is greater than 50’ wide and with access off of the side street must be setback from the street side yard a minimum of 20 feet. This minimum setback of 20 feet was intended for garages on corner lots where the garage doors face the street side yard. Often times a garage can be rotated 90 degrees where the garage doors are perpendicular to the street side yard. In this case staff is proposing the setback could be reduced to the underlying zoning district street side yard setback of a

principal structure. In most instances this will be no less than 15 feet.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE the Municipal Code Amendment Request to amend Section 18-12 and 18-65 amending the definition section pertaining to accessory buildings, referencing the Wisconsin Uniform Dwelling Code pertaining to the separation requirements for detached accessory buildings and clarifying the required minimum setback for garages on a corner lot.

Attachments

1. Draft Redline Ordinance Language

Concurrence:



Jason Angell
Director of Development Services



Steve Barg
City Administrator

DRAFT ORDINANCE NO. XXXX

An Ordinance amending Section 18-12 and 18-65(7) of the Marshfield Municipal Code relating to the separation requirements between a detached accessory structure and a dwelling unit and clarifying the required setbacks for a garage on a corner lot.

The Common Council of the City of Marshfield do hereby ordain as follows:

SECTION 1. "Accessory building, detached" definition found under Section 18-12 of the Marshfield Municipal Code is hereby amended to read as follows:

Accessory building, detached: An accessory building which is not physically connected to the principal building. ~~A minor attachment does not render an accessory building attached. Examples of minor attachments include, but are not limited to, decks 18" or less above grade, arbors and fences, and similar open unclosed structures such as breezeways over the pedestrian pathway between structures and no wider than 5 feet.~~

SECTION 2. Section 18-65(7)(i) of the Marshfield Municipal Code is hereby amended to read as follows:

- (i) Separation from principal dwelling units. ~~Detached accessory buildings shall be located a minimum of 6 feet from a residential dwelling unit on the same lot, except where the structure will be constructed to fire-rating standards of the Uniform Dwelling Code. If the fire-rating standard is met, an accessory building may be located closer than 6 feet and still be considered detached. Detached accessory buildings shall meet the fire-rating separation standards of the Wisconsin Uniform Dwelling Code.~~ Minor attachments may be located in the required separation area and do not render the structures attached for setback purposes.

SECTION 3. Section 18-65(7)(j) of the Marshfield Municipal Code is hereby amended to read as follows:

- (j) Garage setbacks on corner lots.
 1. For lots 50 feet wide and less, the street side setback of a garage may be reduced to no less than 17 feet where the garage doors are parallel to the right-of-way along the street side yard.
 2. For lots more than 50 feet wide, the street side setback of a garage may be reduced to no less than 20 feet where the garage doors are parallel to the right-of-way along the street side yard.

SECTION 4. Savings Clause. If any provision of this Ordinance shall be less restrictive than applicable state statute or in conflict with such statutes, as they exist at passage hereof or as they may hereafter be amended, then, in such case, the state statute shall supersede the provision hereof to the extent applicable.

SECTION 5. Severability. If any provision of this Ordinance is found to be unconstitutional or otherwise contrary to law, then such provision shall be deemed void and severed from the Ordinance and the remainder of this Ordinance shall continue in full force and effect.

SECTION 6. This ordinance shall take effect and be in force from and after the day after its

passage and publication as provided by law.

ADOPTED: _____

APPROVED: _____

PUBLISHED: _____

Chris L. Meyer, Mayor

ATTEST: _____
Deb M. Hall, City Clerk



City of Marshfield Memorandum

TO: Plan Commission
FROM: Sam Schroeder, Zoning Administrator
DATE: June 21, 2016

RE: Municipal Code Amendment Request by the City of Marshfield to amend Section 18-156 pertaining to the required votes by the Zoning Board of Appeals to reverse any order, requirement, decision, or determination for a requested appeal from four concurring votes to a majority vote of members present.

Background

It was recently discovered that the required votes by the Zoning Board of Appeal to reverse any order, requirement, decision, or determination for a requested appeal did not align with Wisconsin State Statutes 62.23(7)(e).

Analysis

- The current language found in the City's Municipal Zoning Code states that "The concurring votes of 4 members of the Board shall be necessary to reverse any order, requirement, decision, or determination for which an appeal has been requested."
- Wisconsin State Statute 62.23(7)(e)(3m) states "if a quorum is present, the board of appeals may take action under this subsection by a majority vote of the members present"
- The proposed language to align with Statute will read "A majority vote of members present shall be necessary to reverse any order, requirement, decision, or determination for which an appeal has been requested."

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE the Municipal Code Amendment Request to amend Section 18-156 in reference to the required votes by the Zoning Board of Appeals to grant an appeal.

Attachments

1. Draft Redline Ordinance Language

Concurrence:



Jason Angell
Director of Development Services



Steve Barg
City Administrator

DRAFT ORDINANCE NO. 1332

An Ordinance amending Section 18-156 of the Marshfield Municipal Code relating to an appeal of a decision of the Zoning Administrator within the City of Marshfield.

The Common Council of the City of Marshfield do hereby ordain as follows:

SECTION 1. Section 18-156(7) of the Marshfield Municipal Code shall be deleted in its entirety and replaced with the following:

- (7) In exercising the above listed duties and responsibilities, the Board may reverse or affirm, wholly or in part, or may modify any order, requirement, decision, or determination of the Zoning Administrator or other administrative officer from whom the appeal is taken. ~~The concurring vote of 4 members of the Board~~ A majority vote of the members present shall be necessary to reverse any order, requirement, decision, or determination for which an appeal has been requested.

SECTION 2. Savings Clause. If any provision of this Ordinance shall be less restrictive than applicable state statute or in conflict with such statutes, as they exist at passage hereof or as they may hereafter be amended, then, in such case, the state statute shall supersede the provision hereof to the extent applicable.

SECTION 3. Severability. If any provision of this Ordinance is found to be unconstitutional or otherwise contrary to law, then such provision shall be deemed void and severed from the Ordinance and the remainder of this Ordinance shall continue in full force and effect.

SECTION 4. This ordinance shall take effect and be in force from and after the day after its passage and publication as provided by law.

ADOPTED: _____

Chris L. Meyer, Mayor

APPROVED: _____

ATTEST: _____

PUBLISHED: _____

Deb M. Hall, City Clerk